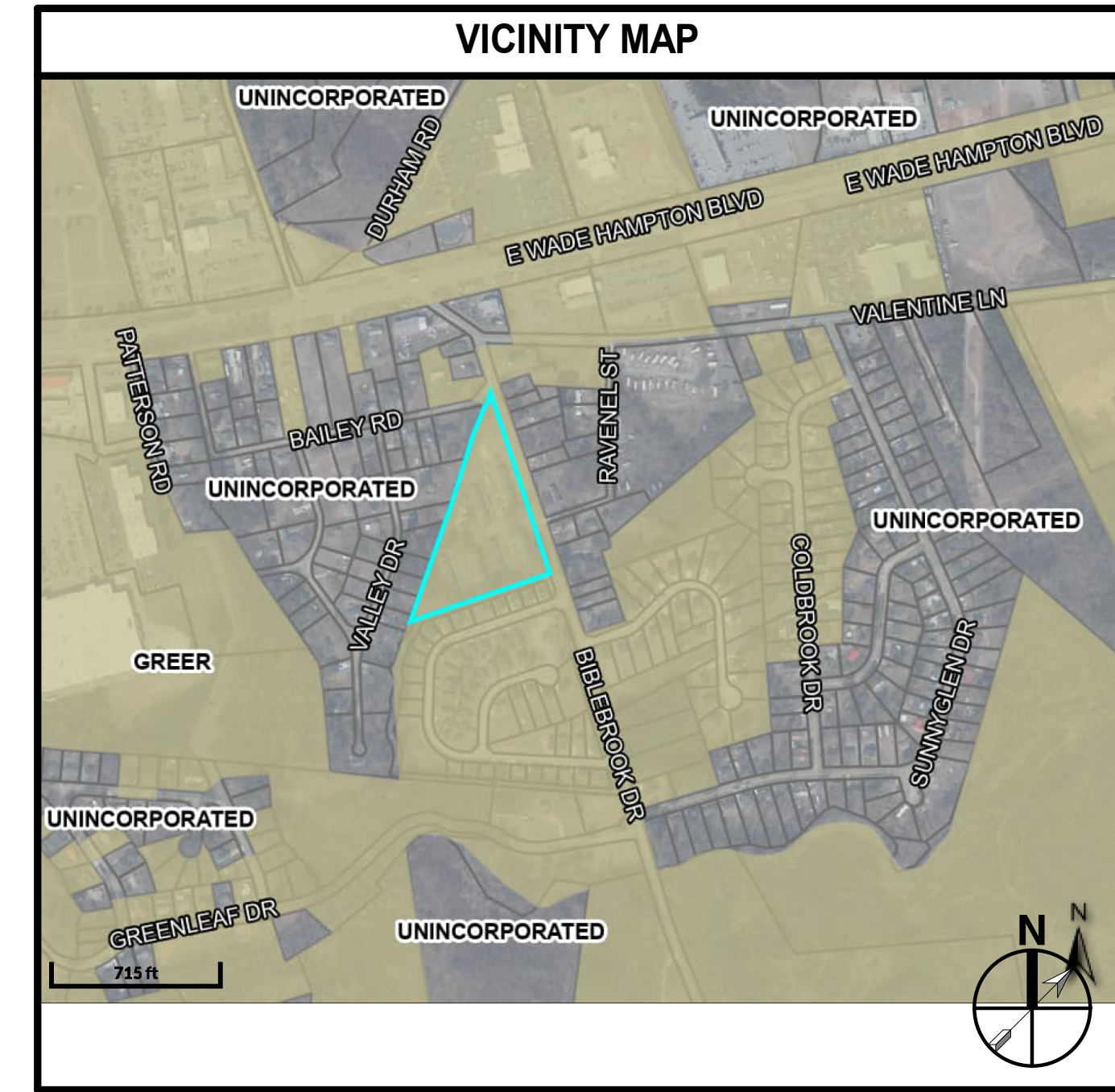


SC HOUSING 4% APPLICATION

NORTHGATE MANOR

GREER HOUSING AUTHORITY

GREER, SOUTH GAROLINA



MOSELEYARCHITECTS

1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230
PHONE (410) 539-4300

MOSELEYARCHITECTS.COM

GREER HOUSING AUTHORITY

103 SCHOOL STREET, GREER SC 29651

GREENVILLE HOUSING FUND

1615-A WADE HAMPTON BLVD, GREENVILLE SC 29607

MOSELEY ARCHITECTS

1414 KEY HIGHWAY, BALTIMORE MD 21230

SITE DESIGN, INC.

225 ROCKY CREEK RD, GREENVILLE SC 29615

OWNER

864-877-5471

DEVELOPER

864-686-5130

ARCHITECTURE AND MEP

410-539-4300

CIVIL AND LANDSCAPE

864-271-0496

PROJECT SUMMARY & REQUIREMENTS

SUMMARY

THE PROJECT INCLUDES THE RENOVATION OF 6 ONE AND TWO-STORY RESIDENTIAL BUILDINGS WITH A TOTAL OF 46 UNITS AS WELL AS A MAINTENANCE BUILDING (1756 SF) AND ADMINISTRATION & COMMUNITY SPACE (ABOUT 1200 SF). THE PROJECT IS TO COMPLY WITH ALL REQUIREMENTS (FOR RENOVATION PROJECTS) OF THE SOUTH CAROLINA HOUSING GAP APPENDIX B DEVELOPMENT DESIGN CRITERIA.

CODE COMPLIANCE

THE PROJECTS WILL BE IN COMPLIANCE WITH THE SOUTH CAROLINA BUILDING CODE AND ALL APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AND COVERING JURISDICTIONS, IN ADDITION TO:

SECTION 504

HUD HOUSING QUALITY STANDARDS (HQS)

HUD MINIMUM PROPERTY STANDARDS (MPS)

HUD UNIFORM PHYSICAL CONDITION STANDARDS (UPCS)

ACCESSIBILITY

5% OF THE UNITS WILL BE DESIGNED FOR THOSE WITH MOBILITY IMPAIRMENTS IN COMPLIANCE WITH UFAS AND CHAPTER 11 OF IBC WHICH REFERENCES ANSI A117.1

2017. THERE ARE CURRENTLY 2 ACCESSIBLE UNITS WHICH WILL BE REVISED TO COMPLY WITH THE CURRENT STANDARDS. A THIRD UNITS WILL BE CHANGED FROM AN ELDERLY UNIT TO A FULL ACCESSIBLE UNIT.

2% OF THE UNITS WILL BE DESIGNED FOR THOSE WITH HEARING AND VISUAL IMPAIRMENTS. THERE ARE NO HVI UNITS CURRENTLY.

GENERAL

AN ALLOWANCE IS INCLUDED FOR REMOVAL OF HAZARDOUS MATERIALS.

SUSTAINABILITY

ALL NEW WINDOWS WILL BE ENERGY STAR

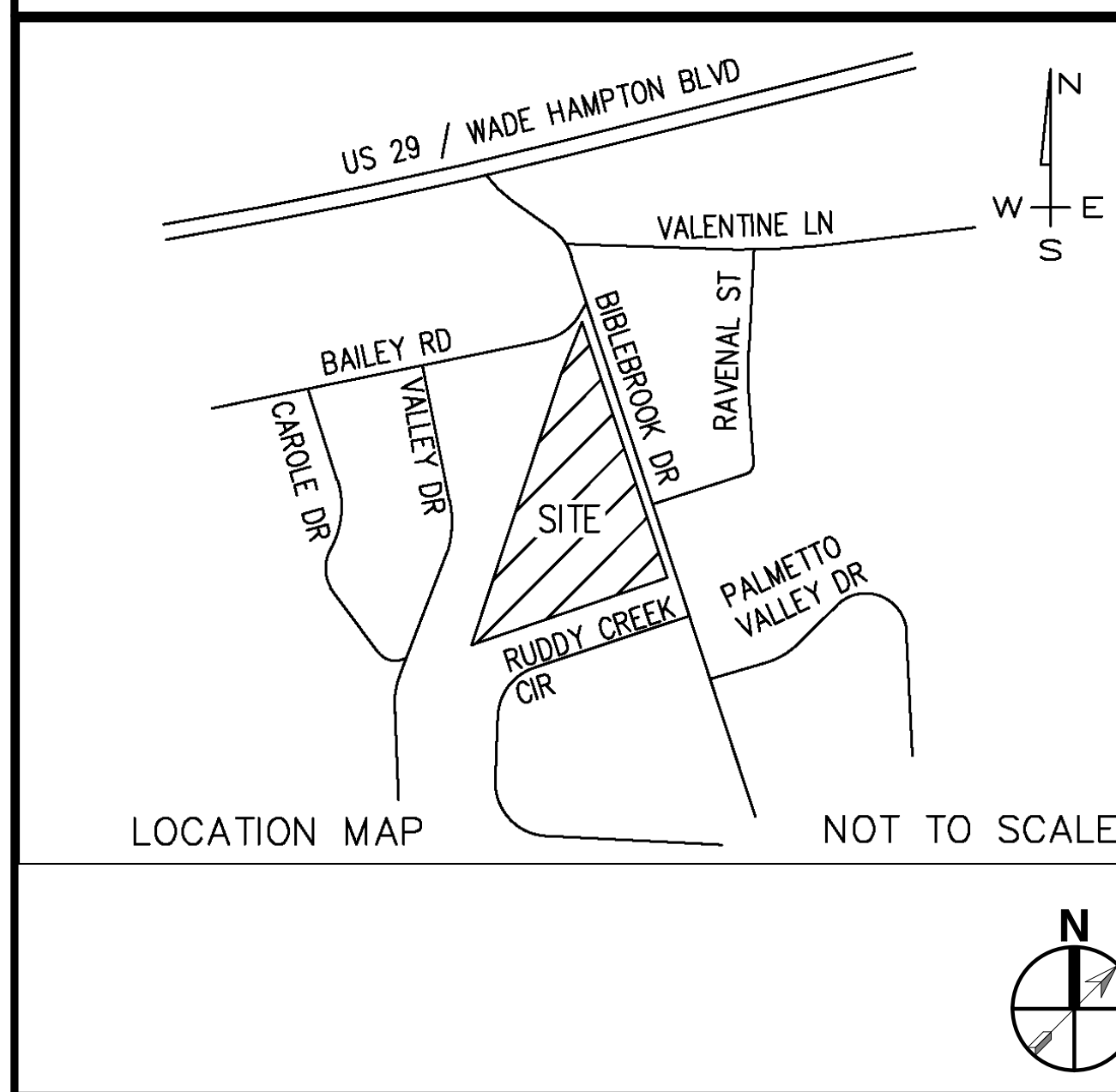
ALL NEW APPLIANCES THAT ARE ENERGY STAR ELIGIBLE WILL BE ENERGY STAR

ALL NEW HVAC EQUIPMENT AND HOTWATER HEATERS WILL BE ENERGY EFFICIENT

AND ENERGY STAR IF ENERGY STAR ELIGIBLE

ALL NEW LIGHTING WILL BE ENERGY EFFICIENT LED

LOCATION MAP



DRAWING INDEX - VOLUME 1

GENERAL

G0.1

COVER

CIVIL

C100

EXISTING CONDITIONS

C200

SITE PLAN

C400

GRADING PLAN

C500

UTILITY PLAN

ARCHITECTURAL

A0.1

GENERAL ARCHITECTURAL INFORMATION

A1.1

ARCHITECTURAL SITE PLAN

A2.1

FLOOR PLANS - BUILDINGS TYPE 1, TYPE 2

A2.2

FLOOR PLANS - BUILDING TYPES 3 & MAINTENANCE

A4.1

BUILDING TYPE 1 & 2 ELEVATIONS

A4.2

BUILDING TYPE 3 & MAINT. ELEVATIONS

A7.2.1

ENLARGED UNIT PLANS

A7.2.2

ENLARGED UNIT PLANS

A7.2.3

ENLARGED AMENITY AND MAINTENANCE SPACE

MEP

MEP1.0

MECH. ELEC. & PLUMBING NOTES & SCOPE

UNIT MIX AND SQUARE FOOTAGE

BUILDING	UNIT TYPE	IBR	IBR ACC	1BR ELD ACC.	1BR ELD	2 BR	3BR	TOTALS
	UNIT NSF	633	730	582	582	778	982	
A						4	6	10
B		2				4	2	8
C		2				4	2	8
D		2				4	2	8
E			2	1	1			4
F		2				4	2	8
TOTAL		8	2		1	20	14	46

BUILDING	BUILDING TYPE	FIRST FLOOR	SECOND FLOOR	TOTALS
A	TYPE 1	4574	4645	9219
B	TYPE 2	3837	2622	6459
C	TYPE 2	3837	2622	6459
D	TYPE 2	3837	2622	6459
E	TYPE 3	3896	N/A	3896
F	TYPE 2	3837	2622	6459
MAINTENANCE		1756	N/A	1756
TOTAL				40707

MOSELEYARCHITECTS

1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230

PHONE (410) 539-4300

MOSELEYARCHITECTS.COM

NORTHGATE MANOR

220 BIBLEBROOK DR.
GREER HOUSING AUTHORITY

PROJECT NO.: 641968

DATE: OCTOBER 24, 2024

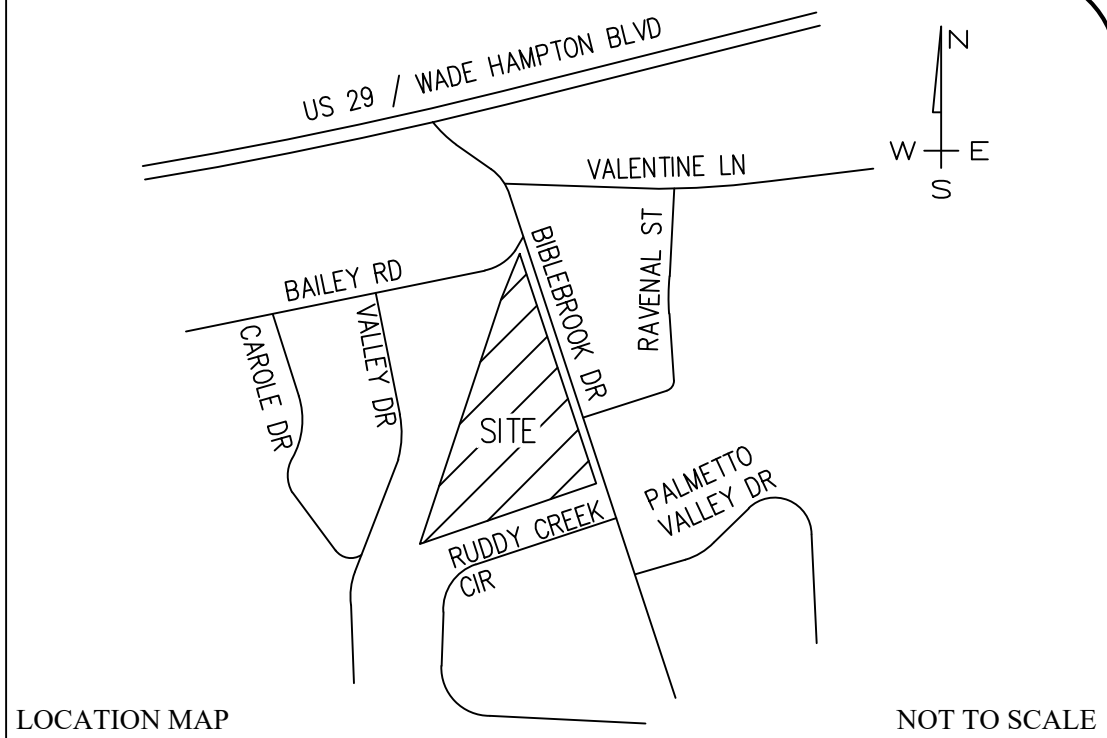
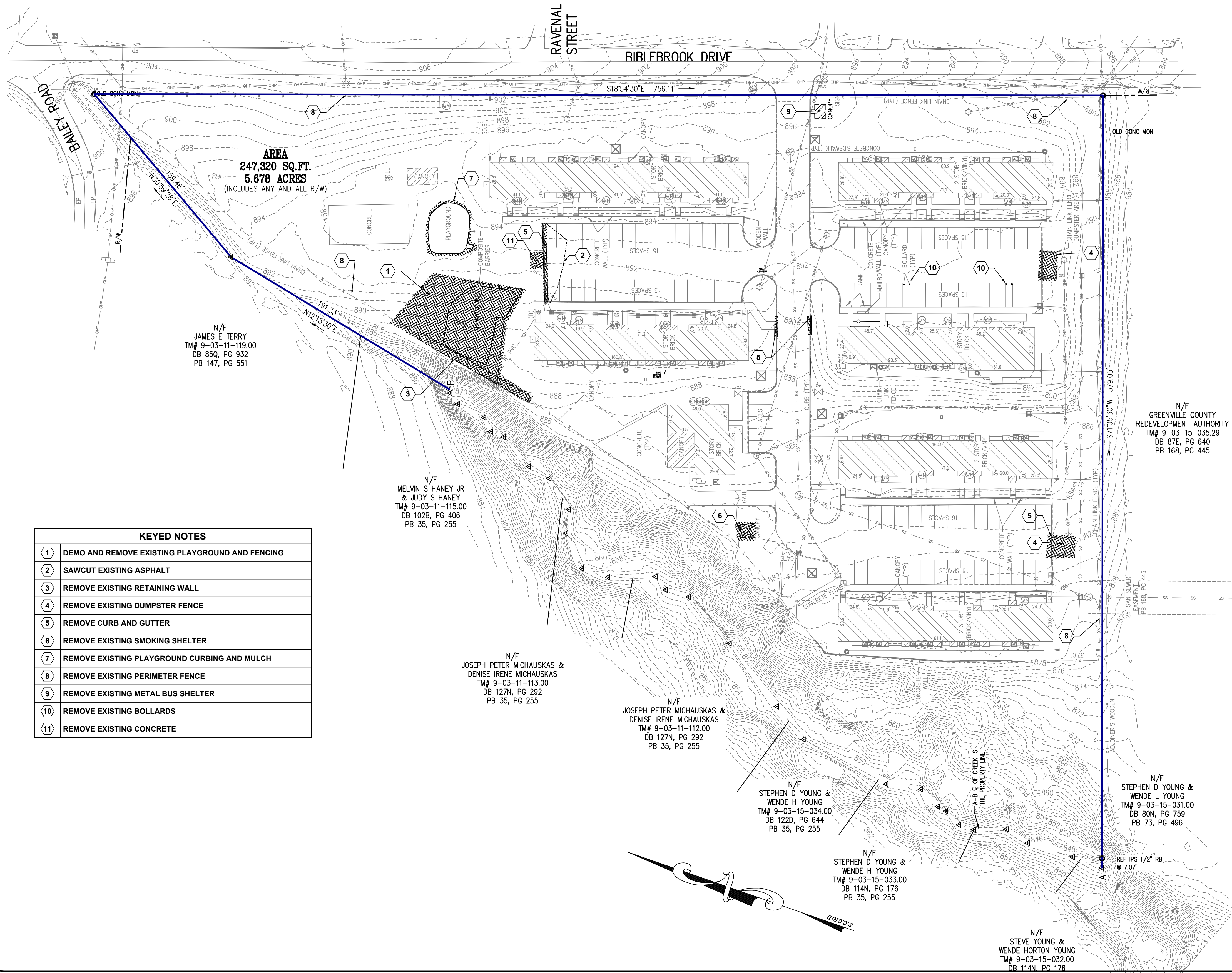
REVISIONS

DATE DESCRIPTION

COVER

SET NO.

THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
IN CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE BETTER QUALITY. IN CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE GREATER QUANTITY OF WORK.



DEMOLITION NOTES

- DEMOLITION AND REMOVAL IS NOT NECESSARILY LIMITED TO THE ITEMS SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE ADDITIONAL EXISTING UNSUITABLE MATERIAL OR STRUCTURES WITHIN THE CONSTRUCTION AREA AS NECESSARY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF UNDERGROUND STORAGE TANKS OR OTHER EQUIPMENT IS UNEARTHED OR OTHERWISE DISCOVERED.
- ALL EXISTING UTILITY DEMOLITION, REMOVAL, OR ABANDONMENT (WATER, SEWER, STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, CABLE, ETC.) SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS, RULES, REGULATIONS, AND REQUIREMENTS OF THE APPLICABLE GOVERNING UTILITY ENTITY. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH THE APPROPRIATE UTILITY ENTITY. CONTRACTOR TO VERIFY USEFULNESS OF EXISTING SITE UTILITIES WITH THE APPROPRIATE UTILITY ENTITY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM CITY OF GREER NECESSARY OR REQUIRED TO PERFORM DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION, REMOVAL, STORAGE, CLEANUP, ETC. IN ACCORDANCE WITH ALL REGULATING AUTHORITIES INCLUDING BUT NOT LIMITED TO CITY OF GREER, SPARTANBURG COUNTY, SCDES, AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
- NO WORK MAY BE PERFORMED WITHIN THE STATE RIGHT-OF-WAY WITHOUT AN APPROVED SCDOT ENCROACHMENT PERMIT.
- EVERY ATTEMPT TO RECYCLE DEMOLISHED MATERIALS SHOULD BE MADE. COORDINATE WITH ON-SITE CONSTRUCTION MATERIALS TESTING FIRM TO IDENTIFY ANY MATERIAL TO BE RECYCLED.

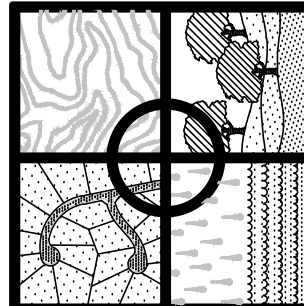
CAUTION



THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



www.sitedesign-inc.com
225 ROCKY CREEK ROAD
GREENVILLE, SC 29615
PH: (864) 271-0496

DATE

NO.

S.C. REG XXXXX

NORTHGATE MANOR

CITY OF GREER
SPARTANBURG COUNTY
SOUTH CAROLINA

GREENVILLE HOUSING
FUND

HORZ. SCALE: 1" = 40'

VERT. SCALE: N/A

DESIGNED BY: AGB

DRAWN BY: AGB

CHECKED BY: CSW

DATE: 10/19/2024

S240935/BASE_SHEETS

EXISTING CONDITIONS
AND DEMOLITION
PLAN

SHEET 1 OF 4

C100

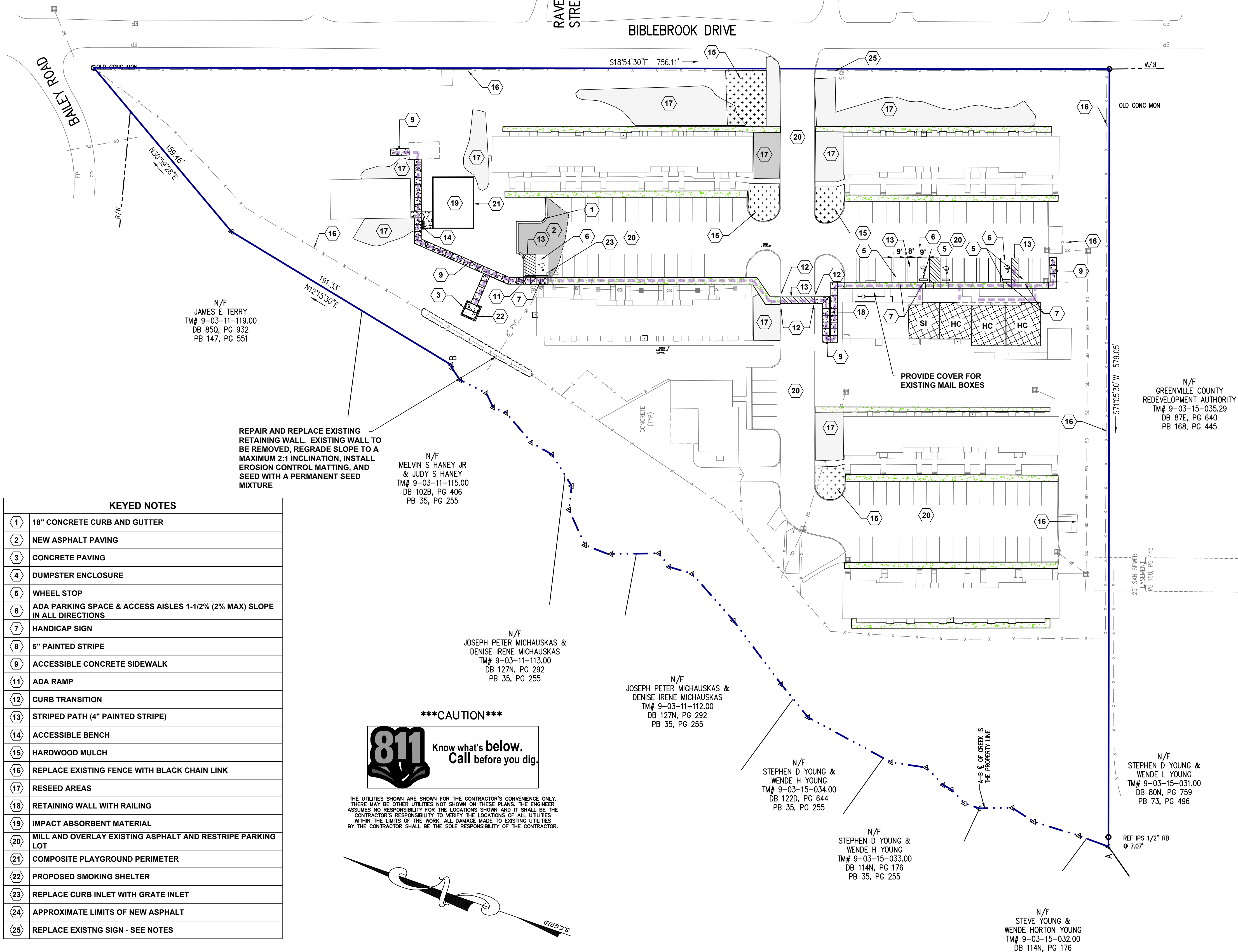
- SITE
- Replace existing property signage. New monument sign is to include brick or stone columns
 - Replace perimeter fencing with black chain link fence
 - Dumpster Areas – replace fencing at dumpster area with black chain link fence.
 - Parking Lot
 - Mill and overlay existing parking areas and restripe parking lot.
 - Accessible parking spaces with compliant signage and striping, are to be provided for visitors, accessible units and amenities.
 - Restripe existing parking lot
 - Site Lighting
 - Replace all building mounted lighting.
 - Replace heads on all pole mounted lighting.
 - All new site lighting is to be energy efficient LED.
 - Landscape
 - Include allowance for site landscape at bare ground and locations with erosion.
 - Retaining walls:
 - Correct site erosion and replace retaining wall along the west perimeter of the site.
 - Sewer lines are to be scoped and repaired/replaced as needed.
 - Sidewalks will be refurbished as described in the PCNA reports.
 - Site Amenities
 - Remove older playground area and surrounding chain link fence.
 - The newer playground equipment is to be kept, provide new rubber mulch for fall protection (impact absorbent).
 - Existing picnic structure is to be kept, provide new 30-yr architectural asphalt shingle, paint existing rakes and fascias.

ACCESSIBLE ROUTE

REFURBISH EXISTING CONCRETE SIDEWALKS

RAVENAL STREET

BIBLEBROOK DRIVE



SITE NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
- CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
- ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
- ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
- TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.

SITE DATA

SITE ADDRESS	220 BIBLEBROOK DRIVE GREER, SOUTH CAROLINA 29651
OWNER/DEVELOPER	GREENVILLE HOUSING FUND 1615-A WADE HAMPTON BLVD GREENVILLE, SOUTH CAROLINA 29609 CONTACT: BRYAN BROWN
CIVIL ENGINEER	SITE DESIGN, INC. 225 ROCKY CREEK ROAD GREENVILLE, SC 29615
ARCHITECT	MOSELEY ARCHITECTS 355 S MAIN ST GREENVILLE, SC 29601
ZONING	R-M1 MULTI-FAMILY RESIDENTIAL DISTRICT I-85 OVERLAY
PROPOSED USE	MULTI FAMILY
TAX MAP #	TMS# 9-03-15-035.00
PARCEL AREA	5.56 ACRES
SETBACKS	FRONT: 30' SIDES: 5' MIN REAR: 5' MIN'

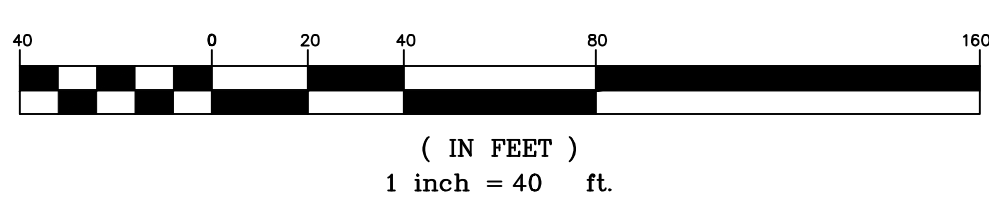
LEGEND

BL BUILDING LINE CL CENTERLINE CMP CORRUGATED METAL PIPE CT CURB TOP DE DRAINAGE EASEMENT EP EDGE OF PAVEMENT FFE FINISHED FLOOR ELEVATION FG FINISHED GRADE IE INVERT ELEVATION IPO IRON PIN OLD IPS IRON PIN SET NAC NAIL & CAP OT OPEN TOP RB REBAR RCP REINFORCED CONC PIPE R/W RIGHT OF WAY SD STORM DRAIN SS SANITARY SEWER SSE EASEMENT	TEL TELEPHONE PEDESTAL CATV CABLE TV PEDESTAL ELECTRIC METER CB CATCH BASIN DI DROP INLET ELEC TRANS X 90° ELEVATION FIRE HYDRANT GAS VALVE LP 12 LIGHT POLE PP 12 POWER POLE GP GUY ANCHOR SDMH SD MANHOLE SSMH SS MANHOLE TMH Q TELEPHONE MANHOLE CO CLEAN OUT	GREASE TRAP MANHOLE TOP/BOTTOM CURB TOP/BOTTOM WALL VCP VITRIFIED CLAY PIPE WATER METER WATER VALVE POST INDICATOR VALVE STORMWATER FLOW TRAFFIC FLOW
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LINETYPES

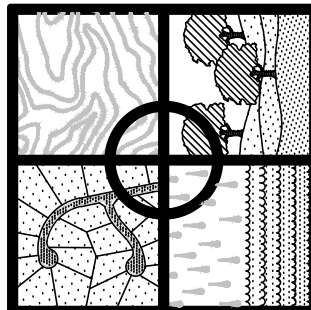
—ctv— CABLE TV —x— CHAIN LINK FENCE (PROPOSED) —x— CHAIN LINK FENCE (EXISTING) —(680)— CONTOURS - EXIST, GRADE —(678)— CONTOURS - FINISHED GRADE —foc— FIBER OPTIC —fm— FORCE MAIN —gas— GAS LINE —ohp— OVERHEAD POWER —ohf— OVERHEAD TELEPHONE —rd— ROOF DRAIN - NEW	—ss— SANITARY SEWER - EXIST. —ss— SANITARY SEWER - NEW —sf— SILT FENCE —sd— STORM SEWER - EXIST. —sd— STORM SEWER - NEW —ugp— UNDERGROUND POWER —ugt— UNDERGROUND TEL —w— WATER LINE - EXIST. —w— WATER - NEW —wf— WOOD FENCE —lpds— LIMITS OF DISTURBANCE
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GRAPHIC SCALE



SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



www.sitedesign-inc.com
225 ROCKY CREEK ROAD
GREENVILLE, SC 29615
PH: (864) 271-0996

NO.	1.	2.	3.	4.	5.	6.	7.	8.	9.	10.
DATE										

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NOT FOR CONSTRUCTION

S.C. REG XXXXX

NORTHGATE MANOR

CITY OF GREER
SPARTANBURG COUNTY
SOUTH CAROLINA

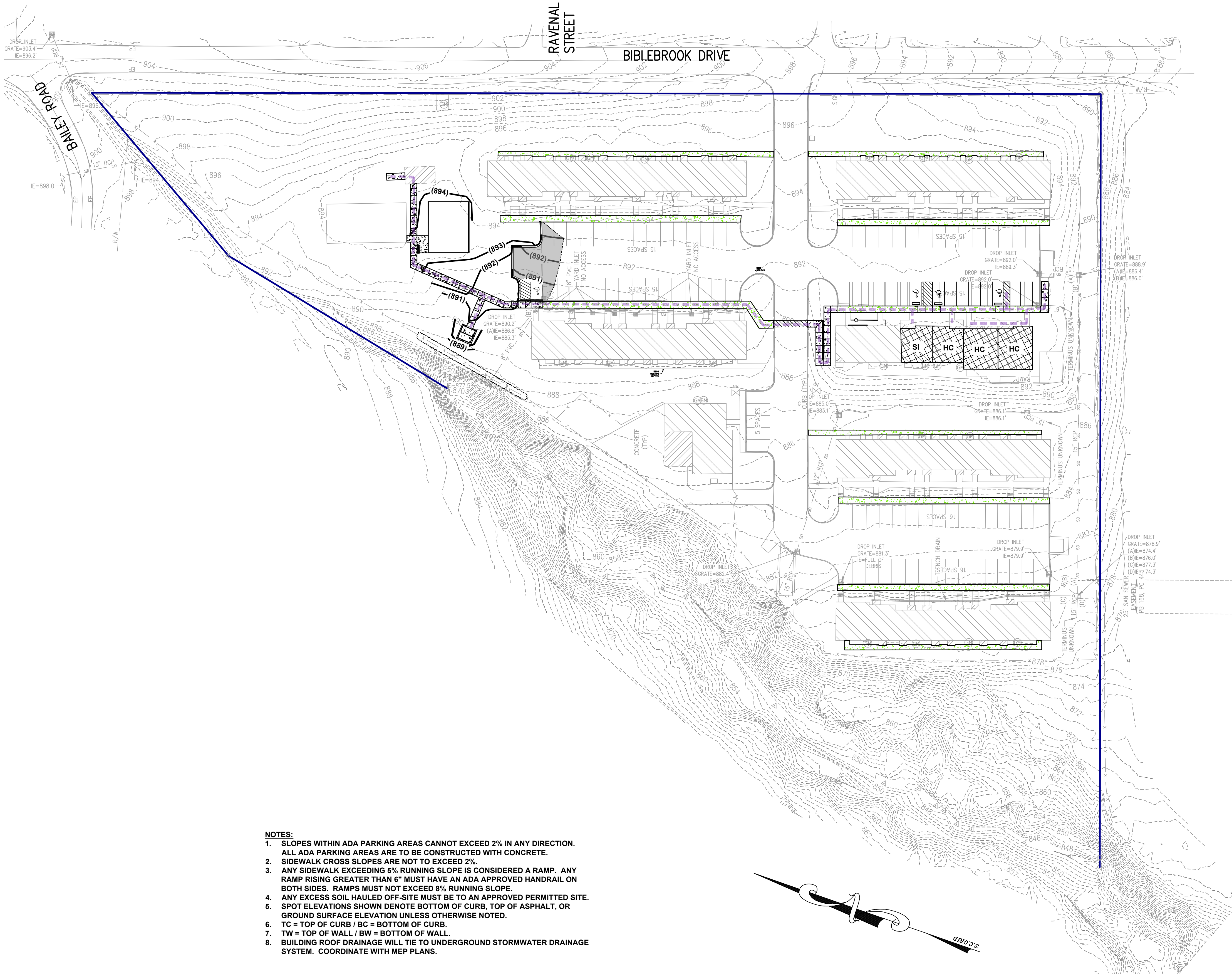
GREENVILLE HOUSING FUND

HORZ. SCALE:	1" = 40'
VERT. SCALE:	N/A
DESIGNED BY:	AGB
DRAWN BY:	AGB
CHECKED BY:	CSW
DATE:	10/19/2024
S240935/BASE_SHEETS	

SITE PLAN

SHEET 2 OF 4

C200



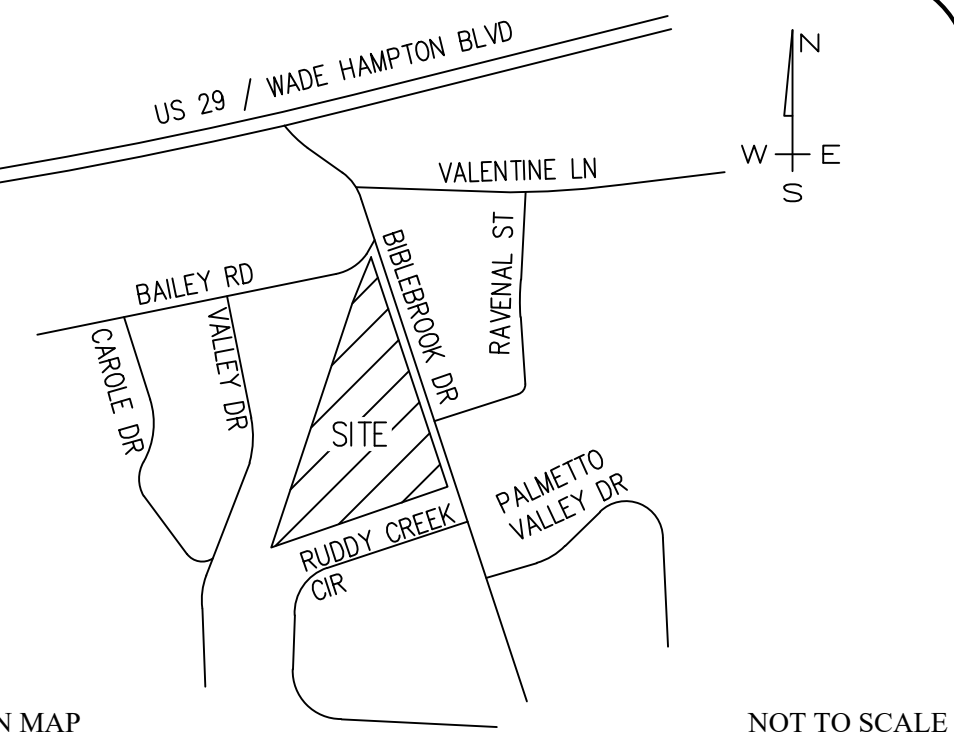
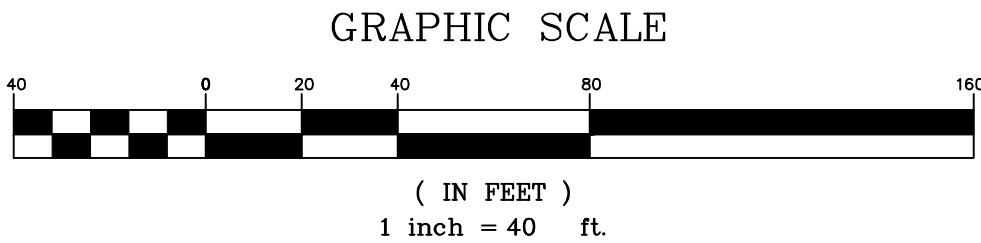
- GRADING NOTES:**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
 3. PROOFROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST FILLED AREAS. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED BECAUSE OF POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL SUPPLY RESULTS TO THE ENGINEER BEFORE ANY PRELIMINARY AND/OR FINAL APPROVALS.
 4. THE GRADING CONTRACTOR SHALL PROOFROLL THE CONSTRUCTION AREA WITH HEAVY RUBBER-TIRED EQUIPMENT. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTIVE EFFORT OR UNDERCUT AND BACKFILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
 5. EARTHWORK SHALL BE TO THE GRADES AND LINES SHOWN. EXISTING AND PROPOSED CONTOUR INTERVALS ARE AT 1'.
 6. ALL NEW ELEVATIONS SHOWN ARE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT TO ESTABLISH SUBGRADE ELEVATION.
 7. WALL ELEVATIONS WHERE NOTED ARE TOP OF WALL AND FINISH GRADE AT BOTTOM OF WALL. SEE RETAINING WALL PLANS FOR DETAILED CONSTRUCTION INFORMATION.
 8. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
 9. ALL EXCAVATION SHALL BE "UNCLASSIFIED EXCAVATION". ALL NEW FILL AND UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
 10. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
 11. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED, AND SHALL CONFORM TO SCDOT SPECIFICATIONS. ALL JOINTS SHALL BE TONGUE AND GROOVE WITH MASTIC MATERIAL.
 12. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE DRAINAGE BOX WITH SOLID WALL PER SCDOT STANDARD DRAWING 719-17A OR APPROVED EQUAL.
 13. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAYS, INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
 14. STANDING GRASS MUST BE EVIDENT IN AREAS THAT WERE SEEDDED.
 15. AN AS-BUILT CERTIFICATION OF THE STORMWATER MANAGEMENT SYSTEM WILL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE SITE. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR THE DELAYS RESULTING FROM NON-COMPLIANCE WITH THE DESIGN DRAWINGS.
 16. CONTRACTOR TO CONFIRM ALL ELEVATIONS AND ADA COMPLIANCE PRIOR TO INSTALLING CURB, SIDEWALK, OR PAVEMENT AND BRING ANY DISCREPANCIES TO THE ENGINEER'S ATTENTION.

CAUTION

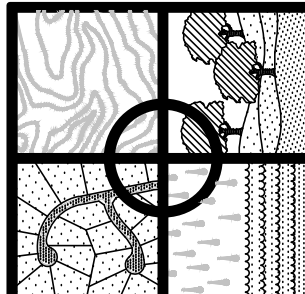


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- LEGEND
- BL BUILDING LINE
CL CENTERLINE
CMP CORRUGATED METAL PIPE
CT CRIMP TOP
DE DRAINAGE EASEMENT
EP EDGE OF PAVEMENT
FTE FINISHED FLOOR ELEVATION
FG FINISHED GRADE
IE INVERT ELEVATION
IPO IRON PIN OLD
LP LIGHT POLE
N&C NAIL & CAP
OT OPEN TOP
RB REBAR
RCP REINFORCED CONC PIPE
R/W RIGHT OF WAY
SD STORM DRAIN
SS SANITARY SEWER
SSE SS EASEMENT
- TEL TELEPHONE PEDESTAL
CATV CABLE TV PEDESTAL
CB CATCH BASIN
DI DROP INLET
ELEC ELEC TRANS
X90.0 ELEVATION
FIRE HYDRANT
GAS METER
GVP GAS VALVE
LP LIGHT POLE
PP POWER POLE
GP GUY ANCHOR
SDMH SD MANHOLE
SSMH SS MANHOLE
TMH TELEPHONE MANHOLE
CO CLEAN OUT
- TC/BC TOP/BOTTOM CURB
TW/BW TOP/BOTTOM WALL
VCP VITRIFIED CLAY PIPE
WATER METER
WV WATER VALVE
POST INDICATOR VALVE
STORMWATER FLOW
TRAFFIC FLOW
- LINE TYPES
- CTV CABLE TV
X CHAIN LINK FENCE (PROPOSED)
X CHAIN LINK FENCE (EXISTING)
-680- CONTOURS - EXIST. GRADE
-(678)- CONTOURS - FINISHED GRADE
FOC FIBER OPTIC
FM FORCE MAIN
GAS GAS LINE
OP OVERHEAD POWER
OHT OVERHEAD TELEPHONE
RD ROOF DRAIN - NEW
- SS SANITARY SEWER - EXIST.
SS SANITARY SEWER - NEW
SF SILT FENCE
SD STORM SEWER - EXIST.
SD STORM SEWER - NEW
UGP UNDERGROUND POWER
UGT UNDERGROUND TEL
W WATER - EXIST.
W WATER - NEW
WF WOOD FENCE
NPECS LIMITS OF DISTURBANCE



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DATE

NO.

S.C. REG XXXXX

NOT FOR
CONSTRUCTION

NORTHGATE MANOR

CITY OF GREER
SPARTANBURG COUNTY
SOUTH CAROLINA

GREENVILLE HOUSING
FUND

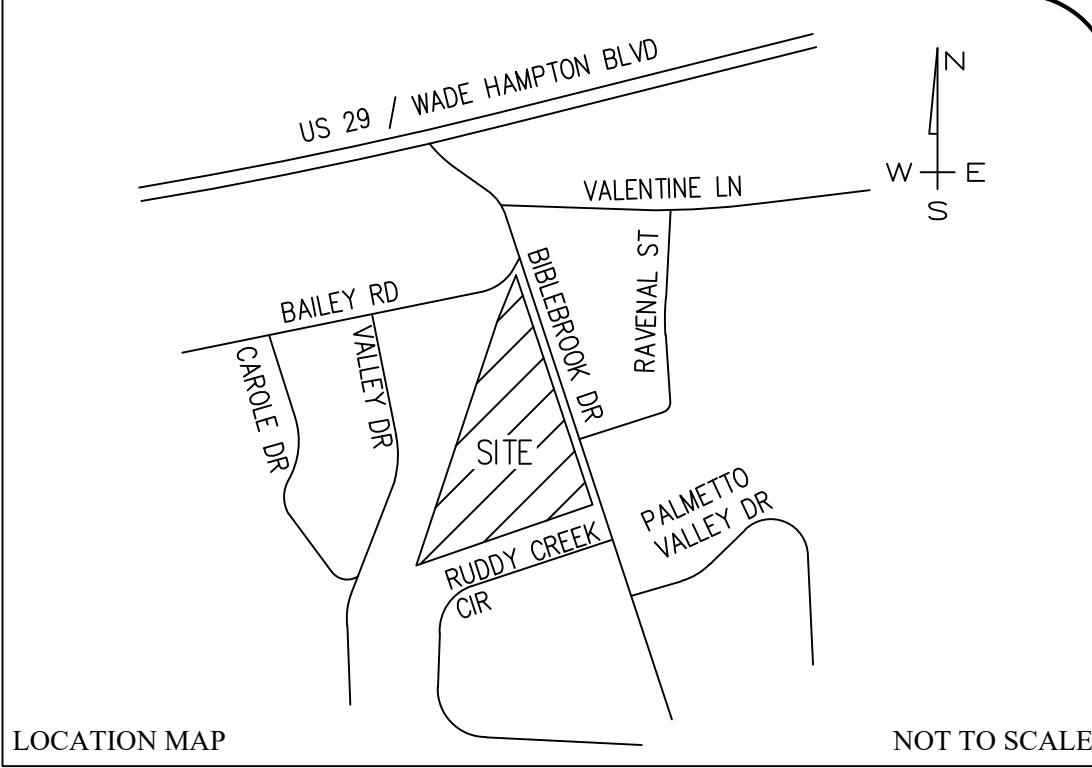
HORIZ. SCALE: 1" = 40'
VERT. SCALE: N/A
DESIGNED BY: AGB
DRAWN BY: AGB
CHECKED BY: CSW
DATE: 10/19/2024
S240935/BASE_SHEETS

GRADING PLAN

SHEET 3 OF 4

C400

NOTE: SEWER LINES ARE TO BE SCOPED AND REPAIRED/REPLACED AS NEEDED.



UTILITY NOTES:

- ALL UTILITIES LOCATED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL COORDINATE LOCATION OF UNDERGROUND UTILITIES WITH THE UTILITY LOCATING SERVICE, BY CALLING 811 THREE (3) DAYS PRIOR TO CONSTRUCTION, AND UTILITY PROVIDERS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
- NEW UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
- CONTRACTOR SHALL CONSTRUCT DOMESTIC WATER SERVICE TO BUILDINGS AND FIRE LINE AS SHOWN ON DRAWING. EXACT LINE SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. TAPS TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY.
- CONTRACTOR SHALL CONSTRUCT SANITARY SEWER SERVICE TO BUILDINGS. EXACT SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. SERVICE TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY. INSTALL CLEAN OUTS AT 75' INTERVALS (MAX) AND AT ALL DEFLECTIONS.
- CONTRACTOR SHALL COORDINATE ALL OTHER UTILITY CONNECTIONS WITH LOCAL PROVIDERS. CONTRACTOR SHALL INSTALL ALL UTILITIES TO THE SPECIFICATIONS AND REQUIREMENTS OF THE ACCEPTING UTILITY AUTHORITY.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY UTILITY SCREENING TO MEET THE REQUIREMENTS OF THE CITY OF GREER.
- WHERE PLUMBING FIXTURES ARE INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE BUILDING DRAIN, OR HORIZONTAL BRANCH SERVING SUCH FIXTURES. PLUMBING FIXTURES INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKWATER VALVE.

CAUTION

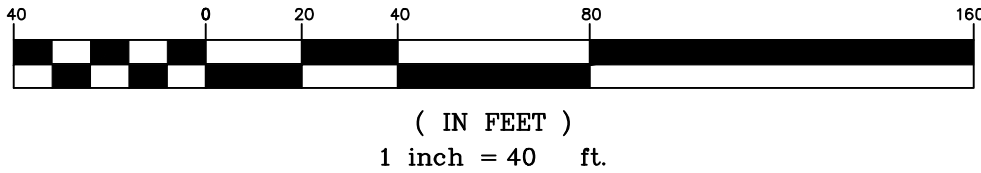


THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

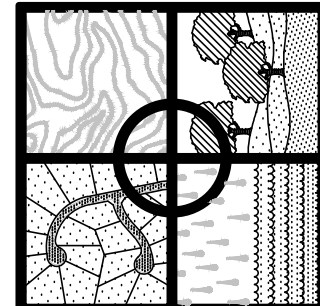
- | | | |
|------------------------------|--------------------------|-------------------------|
| BL BUILDING LINE | TEL ☐ TELEPHONE PEDESTAL | Ⓜ GREASE TRAP MANHOLE |
| CL CENTERLINE | CATV ☐ CABLE TV PEDESTAL | TC/BC TOP/BOTTOM CURB |
| CMP CORRUGATED METAL PIPE | Ⓜ ELECTRIC METER | TW/BW TOP/BOTTOM WALL |
| CT CRIMP TOP | CB ☐ CATCH BASIN | VCP VITRIFIED CLAY PIPE |
| DE DRAINAGE EASEMENT | DI ☐ DRAIN INLET | WM WATER METER |
| EP EDGE OF PAVEMENT | Ⓜ ELEC TRANS | WV WATER VALVE |
| FFE FINISHED FLOOR ELEVATION | Ⓜ 90.0 ELEVATION | Ⓜ POST INDICATOR VALVE |
| FG FINISHED GRADE | Ⓜ FIRE HYDRANT | ⇒ STORMWATER FLOW |
| IE INVERT ELEVATION | Ⓜ GAS METER | ⇒ TRAFFIC FLOW |
| IPD IRON PIN OLD-○ | GV GAS VALVE | |
| IPS IRON PIN SET-○ | LP ✕ LIGHT POLE | |
| N&C NAIL & CAP | PP ✕ POWER POLE | |
| OT OPEN TOP | GP ✕ GUY ANCHOR | |
| RB REBAR | SDMH @ SD MANHOLE | |
| RCP REINFORCED CONC PIPE | SSMH @ SS MANHOLE | |
| R/W RIGHT OF WAY | TM ☐ TELEPHONE MANHOLE | |
| SD STORM DRAIN | CO ☐ CLEAN OUT | |
| SS SANITARY SEWER | | |
| SSE SS EASEMENT | | |
-
- | | |
|-------------------------------------|---------------------------------|
| — CTV — CABLE TV | — SS — SANITARY SEWER — EXIST. |
| — X — CHAIN LINK FENCE (PROPOSED) | — SS — SANITARY SEWER — NEW |
| — X — CHAIN LINK FENCE (EXISTING) | — SF — SILT FENCE |
| — 680 — CONTOURS — EXIST. GRADE | — SD — STORM SEWER — EXIST. |
| — (678) — CONTOURS — FINISHED GRADE | — SD — STORM SEWER — NEW |
| — FIBER OPTIC | — UGP — UNDERGROUND POWER |
| — FM — FORCE MAIN | — UGT — UNDERGROUND TEL |
| — GAS — GAS LINE | — W — WATER LINE — EXIST. |
| — OHP — OVERHEAD POWER | — W — WATER — NEW |
| — OHT — OVERHEAD TELEPHONE | — W — WOOD FENCE |
| — RD — ROOF DRAIN — NEW | — NPDES — LIMITS OF DISTURBANCE |

GRAPHIC SCALE



SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



www.sitedesign-inc.com
225 ROCKY CREEK ROAD
GREENVILLE, SC 29615
PH: (864) 271-0496

DATE

NO.

S.C. REG XXXXX

NOT FOR CONSTRUCTION

NORTHGATE MANOR

CITY OF GREER
SPARTANBURG COUNTY
SOUTH CAROLINA

GREENVILLE HOUSING
FUND

HORIZ. SCALE: 1" = 50'
VERT. SCALE: N/A
DESIGNED BY: AGB
DRAWN BY: AGB
CHECKED BY: CSW
DATE: 10/19/2024
S240935/BASE_SHEETS

UTILITY PLAN

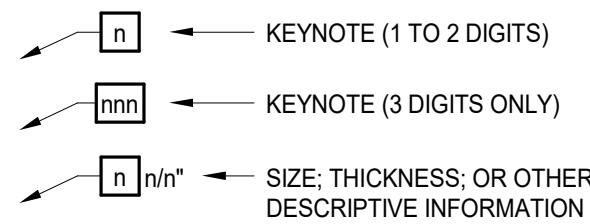
SHEET 4 OF 4

C500

ARCHITECTURAL ABBREVIATIONS

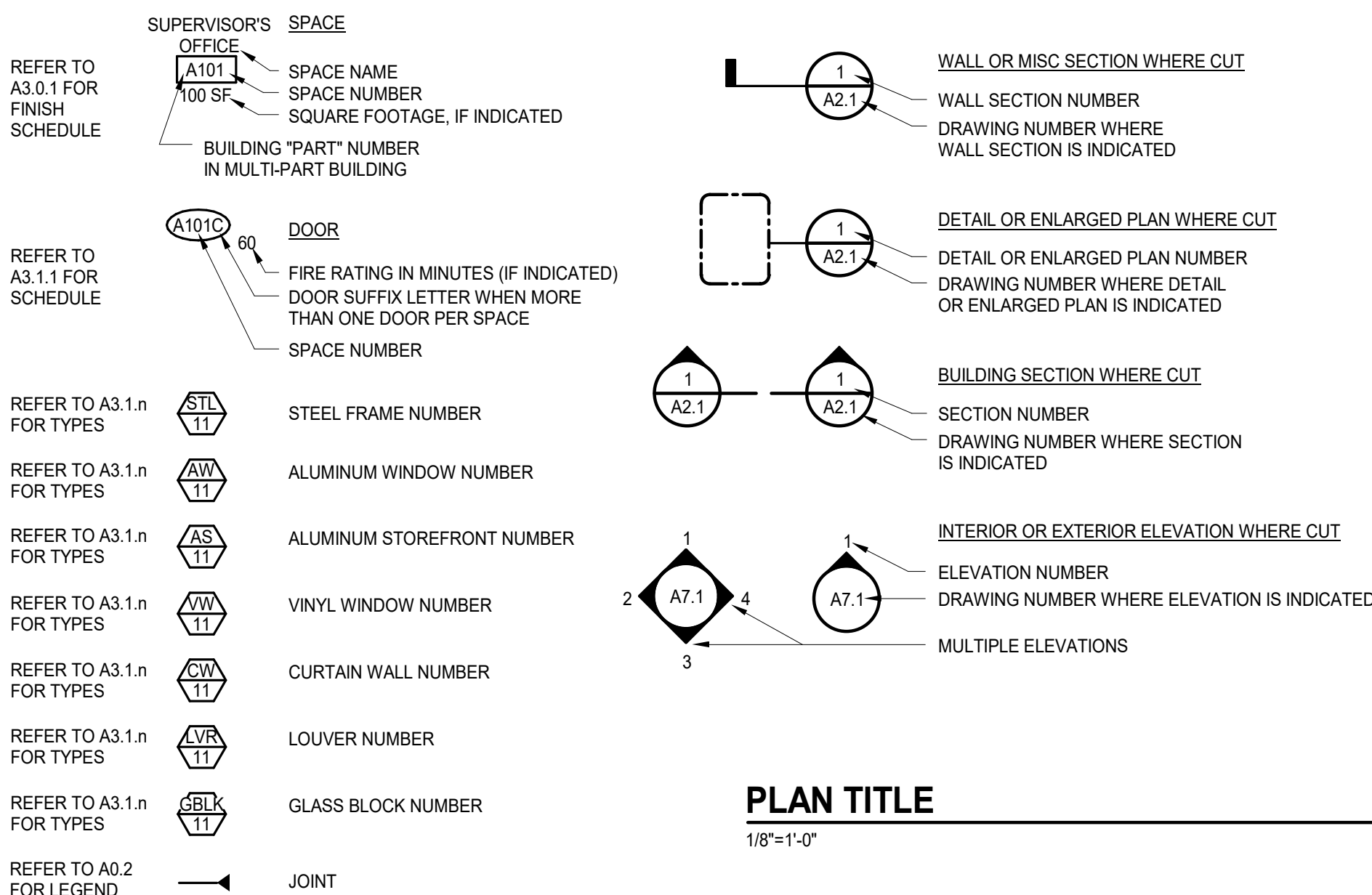
A-PT	ACCENT PAINT	FF	FINISHED FLOOR	POLY	POLYETHYLENE
ABS	AIR BARRIER SYSTEM	FGL	FIBERGLASS	PPS	POWER PROJECTION SCREEN
ABV	ABOVE	FH	FIRE HYDRANT	PPT	PRESSURE- OR PRESERVATIVE-TREATED
ACP	ACOUSTICAL CEILING PANEL	FHC	FIRE HOSE CABINET	PR	PAIR
ACT	ACOUSTICAL CEILING TILE	FHVC	FIRE HOSE VALVE CABINET	PREFAB	PREFABRICATED
ACW	ALUMINUM CLAD WINDOW	FIN	FINISHED	PREFIN	PREFINISHED
ADJ	ADJUSTABLE	FLR	FLOOR	PREP	PREPARE / PREPARATION
AFF	ABOVE FINISHED FLOOR	FLRG	FLOORING	PS	PROJECTION SCREEN
AHU	AUTHORITY HAVING JURISDICTION	FO	FACE OF	PSB	PENCIL, SHARPENER BLOCK
AHU	AIR HANDLING UNIT	FRM	FRAME	PSF	POUNDS PER SQUARE FOOT
ALT	ALTERNATE	FRP	FIBERGLASS REINFORCED PLASTIC	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	FRT	FIRE RETARDANT TREATED	PT	PAINT
AP	ACCESS PANEL	FT	FOOT, FEET	PTN	PARTITION
APC	ARCHITECTURAL PRECAST CONCRETE	FTG	FOOTING	PTS	PNEUMATIC TUBE SYSTEM
ARC	ABUSE RESISTANT COATING	FURN	FURNITURE	PVC	POLYVINYL CHLORIDE
AS	ALUMINUM STOREFRONT	FVC	FIRE VALVE CABINET	PVMT	PAVEMENT
AUTO	AUTOMATIC	FWC	FABRIC WALL COVERING	PWVC	PERFORATED VINYL WALL COVERING
AVG	AVERAGE	GA	GUAGE	QSM	QUARTZ SURFACING MATERIAL
AW	ALUMINUM WINDOW	GAL	GALLON	QT	QUARRY TILE
AWC	ACOUSTICAL WALL COVERING	GALV	GALVANIZED	QTY	QUANTITY
AWP	ACOUSTICAL WALL PANEL	GB	GYPSPUM BOARD	R	RISER, RADIUS
BD	BOARD	GB-AR	GYPSPUM BOARD - ABUSE RESISTANT	R/W	RIGHT OF WAY
BF	BARRIER FREE (ADA or A117.1)	GB-IR	GYPSPUM BOARD - IMPACT RESISTANT	RAD	RADIUS
BLDG	BUILDING	GB-S	GYPSPUM BOARD - SECURITY	RAF	RESILIENT ATHLETIC FLOORING
BLKG	BLOCKING	GFRG	GLASS FIBER REINFORCED CONCRETE	RB	RESILIENT BASE
BOT	BOTTOM	GFRG	GLASS FIBER REINFORCED GYPSPUM	RCP	REFLECTED CEILING PLAN
BRG	BEARING	GL	GLASS, GLAZING	RD	ROOF DRAIN
BTWN	BETWEEN	GL-BLK	GLASS BLOCK	REFG	REFRIGERATOR
BUR	BUILT-UP ROOF	GPM	GALLONS PER MINUTE	REINF	REINFORCING, REINFORCED(D)
C	CARPET	GRT	GROUT	REM	RECESSED ENTRY MAT
C-TILE	C-TILE	GSFT	GLAZED STRUCTURAL FACING TILE	REQD	REQUIRED
CAB	CABINET	GT	GLASS TILE	RES	RESINOUS FLOORING
CB	CHALKBOARD	GWT	GLAZED WALL TILE	RFT	RUBBER FLOOR TILE
CCTV	CLOSED CIRCUIT TELEVISION	GYP	GYPSPUM	RH	RIGHT HAND
CEM	CEMENT	H	HIGH	RL	RAIN LEADER
CF5F-NS	COLD FORMED STEEL FRAMING, NON-STRUCTURAL	HB	HOSE BIBB	RM	ROOM
CF5F-S	COLD FORMED STEEL FRAMING, STRUCTURAL	HBD	HARDBOARD	RO	ROUGH OPENING
CG	CORNER GUARD	HDC	HOLD DOWN CLIPS	RSF	RUBBER SHEET FLOORING
CI	CONTINUOUS INSULATION	HDNR	HARDENER	RSR	RESILIENT STAIR RISER
CIPC	CAST IN PLACE CONCRETE	HDWD	HARDWOOD	RST	RESILIENT STAIR TREAD
CJ	CONTROL JOINT	HDWR	HARDWARE	RT	RIGHT
CL	CLOSET	HM	HOLLOW METAL	RTU	ROOFTOP UNIT
CLG	CEILING	HORIZ	HORIZONTAL	SAB	SOUND ATTENUATION BLANKET
CLR	CLEAR	HPC	HIGH PERFORMANCE COATINGS	SC-PLK	SECURITY CEILING PLANK
CM	CENTIMETER	HPFP	HIGH PERFORMANCE FLOOR PAINT	SC-PNL	SECURITY CEILING PANEL
CMBD	CEMENT BOARD	HT	HEIGHT	SCH	SCHEDULE
CMU	CONCRETE MASONRY UNIT	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SF	SQUARE FEET / FOOT
CMU-A	CONCRETE MASONRY UNIT - ACOUSTICAL	ID	INSIDE DIAMETER	SFRM	SPRAYED FIRE RESISTANT MATERIAL
CMU-GF	CONCRETE MASONRY UNIT - GROUND FACE	IN	INCH, INCHES	SHM	SECURITY HOLLOW METAL SHEATHING
CMU-GLZ	CONCRETE MASONRY UNIT - GLAZED	INCL	INCLUDE, INCLUDING	SHTG	SIMILAR
CMU-SPLF	CONCRETE MASONRY UNIT - SPLIT FACE	INFO	INFORMATION	SM	SPECIFICATION
CO	CLEANOUT	INST	INSTALLATION	SPEC	SPECIFICATION
COL	COLUMN	INSUL	INSULATION	SPF	SPRAYED POLYURETHANE FOAM
CONC	CONCRETE	INT	INTERIOR	SPR	SPRINKLER
CONC-LH	CONCRETE WITH LIQUID HARDENER/SEALER	IRWC	IMPACT RESISTANT WALL COVERING	SQ	SQUARE
CONC-PMT	CONCRETE WITH PIGMENT	IWB	INTERACTIVE WHITE BOARD	SQ FT	SQUARE FEET / FOOT
CONC-POL	CONCRETE - POLISHED	JAN	JANITOR	SRD	SECONDARY ROOF DRAIN
CONC-SLR	CONCRETE WITH CURE & SEAL	JCT	JUNCTION	SS	STAINLESS STEEL
CONC-ST	CONCRETE WITH STAIN	JT	JOINT	SSM	SOLID SURFACE MATERIAL
CONST	CONSTRUCTION	L	LENGTH/LONG	ST	STREET
CONT	CONTINUOUS	LAB	LABORATORY	STC	SOUND TRANSMISSION COEFFICIENT
CONTR	CONTRACTOR	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION	STD	STANDARD
CORR	CORRIDOR	LAM	LAMINATE	STL	STEEL
CSMU	CAST STONE MASONRY UNIT	LAV	LAVATORY	STN	STONE
CT	CERAMIC TILE	LH	LEFT HAND	STRUCT	STRUCTURAL
CTSK	COUNTERSINK, COUNTERSUNK	LIN	LINOLEUM	SUSP	SUSPENDED
CU FT	CUBIC FEET / FOOT	LKR	LOCKER	SV	SHEET VINYL
CUST	CUSTODIAN / CUSTODIAL	LMC	LINEAR METAL CEILING	SWM	SECURITY WOVEN MESH / WOVEN ROD
CW	ALUMINUM CURTAIN WALL	LPS	LAMINATE PANEL SYSTEM	SYM	SYMMETRICAL
CWDF	CEMENTITIOUS WOOD FIBER DECK	LT	LIGHT	T	TREAD
D	DEPTH/DEEP	LVR	LOUVER	T&G	TONGUE & GROOVE
DBL	DOUBLE	M	METER	T.O.	TOP OF
DEMO	DEMOLITION	MACH	MACHINE	TB	TACKBOARD
DETE	DETENTION	MAS	MASONRY	TCF	TEXTILE COMPOSITE FLOORING
DF	DRINKING FOUNTAIN	MATL	MATERIAL	TEL	TELEPHONE
DG	DOOR GRILLE	MAX	MAXIMUM	TERR-C	TERRAZZO CEMENTITIOUS
DHM	DETENTION HOLLOW METAL	MB	MARKERBOARD	TERR-E	TERRAZZO EPOXY
DIA	DIAMETER	MCM	METAL COMPOSITE MATERIAL	TERR-R	TERRAZZO RUBBERIZED
DIAG	DIAGONAL	MCP	METAL CEILING PANEL	THHD	THRESHOLD
DIM	DIMENSION	MDO	MEDIUM DENSITY OVERLAY	THK	THICKNESS, THICK
DIV	DIVISION	MECH	MECHANICAL	TOS	TOP OF STEEL
DL	DOOR LOUVER	MED	MEDIUM	TOW	TOP OF WALL
DN	DOWN	MEMB	MEMBRANE	TS	TACK STRIP
DP	DAMPPOOFING	MFR	MANUFACTURER	TV	TELEVISION
DR	DISPLAY RAIL	MIF	MULTICOLOR INTERIOR FINISHING	TYP	TYPICAL
DS	DOWNSPOUT	MIN	MINIMUM	UC	UNDERCUT
DTL	DETAIL	MIR	MIRROR	UG	UNDERGROUND
DWG	DRAWING	MISC	MISCELLANEOUS	UH	UNIT HEATER
DWR	DRAWER	MLDG	MOLDING	UNO	UNLESS NOTED (INDICATED) OTHERWISE
EA	EACH	MO	MASONRY OPENING	VAT	VINYL ASBESTOS TILE
EF	EXHAUST FAN	MPS	MANUAL PROJECTION SCREEN	VB	VAPOR BARRIER
EFS	EXTERIOR FINISH SYSTEM	MR	MAP RAIL	VCT	VINYL COMPOSITION TILE
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	MT	MOUNT	VDB	VISUAL DISPLAY BOARD
EJ	EXPANSION JOINT	MTD	MOUNTED	VERT	VERTICAL
EL	ELEVATION	MTL	METAL	VEST	VESTIBULE
ELAS	ELASTOMERIC	NA	NOT APPLICABLE	VFCT	VINYL FREE COMPOSITION TILE
ELEC	ELECTRICAL	NIC	NOT IN CONTRACT	VFWC	VINYL FREE WALLCOVERING
ELEV	ELEVATOR	NO.	NUMBER	VIF	VERIFY IN FIELD
EMER	EMERGENCY	NOM	NOMINAL	VR	VAPOR RETARDER
EPS	EXPANDED POLYSTYRENE	NRC	NOISE REDUCTION COEFFICIENT	VT	VINYL TILE
EPX	EPOXY	NTS	NOT TO SCALE	VTR	VENT THROUGH ROOF
EQ	EQUAL	OC	ON CENTER	VW	VINYL WINDOW
EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER	VWC	VINYL WALL COVERING
ETR	EXISTING TO REMAIN	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED	W	WIDE, WIDTH
EVCT	ENHANCED VINYL COMPOSITION TILE	OPNG	OPENING	W/	WITH
EVC	ELECTRIC WATER COOLER	OPP HD	OPPOSITE HAND	W/O	WITHOUT
EX	EXISTING	OVHD	OVERHEAD	WC	WATER CLOSET
EXH	EXHAUST	P-TILE	PORCELAIN TILE	WCP	WOOD CEILING PANEL
EXP	EXPANSION	PC	PRECAST	WD	WOOD
EXPC	EXPOSED CONSTRUCTION	PERF	PERFORATED, PERFORATION(S)	WDW	WINDOW
EXT	EXTERIOR	PERIM	PERIMETER	WP	WATERPROOFING
FAAF	FLUID APPLIED ATHLETIC FLOORING	PIP	POURED IN PLACE	WPT	WORKING POINT
FD	FLOOR DRAIN	PLAM	PLASTIC LAMINATE	WSCOT	WAINSCOT
FDN	FOUNDATION	PLAS	PLASTER	WSF	WOOD SPORTS FLOORING
FE	FIRE EXTINGUISHER	PLWD	PLASTIC LAMINATE WOOD	WT	WEIGHT
FEB	FIRE EXTINGUISHER BRACKET	PLYWD	PLYWOOD	WWF	WELDED WIRE FABRIC
FEC	FIRE EXTINGUISHER CABINET	PNL	PANEL, PANELING	XPS	EXTRUDED POLYSTYRENE

KEYNOTES



1. KEYNOTES ARE GENERALLY ASSOCIATED WITH A SERIES OF DRAWINGS (e.g., A3.2.n, A5.1.n), THEREFORE KEYNOTE NUMBERS FROM SERIES TO SERIES WILL VARY (i.e., KEYNOTE NO. 1 IN THE A3.2.n SERIES WILL BE DIFFERENT FROM KEYNOTE NO. 1 IN THE A5.1.n SERIES).

ARCHITECTURAL GRAPHIC SYMBOL LEGEND



PLAN TITLE

1/8"=1'-0"

ELEVATION OR BUILDING SECTION TITLE

1/4"=1'-0"

ENLARGED PLAN OR WALL SECTION TITLE

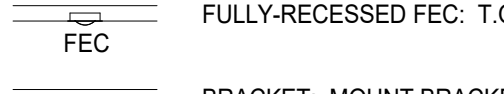
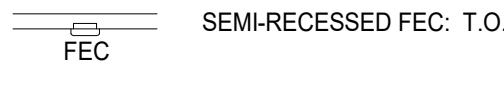
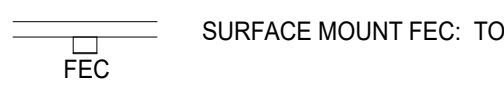
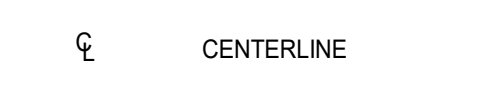
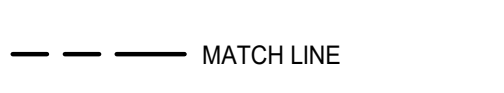
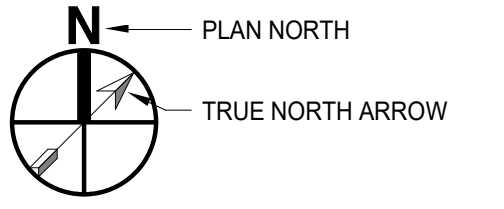
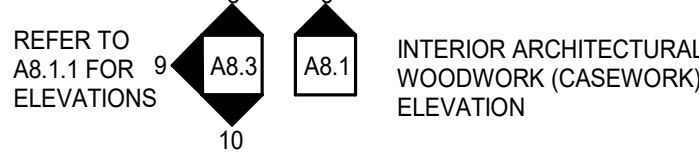
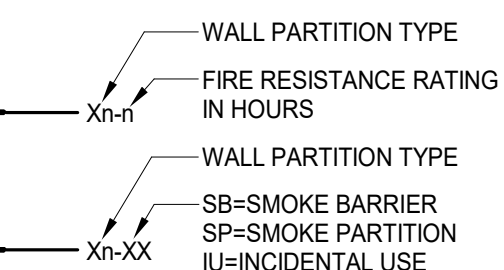
1/4"=1'-0"

DETAIL TITLE

1/2"=1'-0"

CASEWORK TITLE

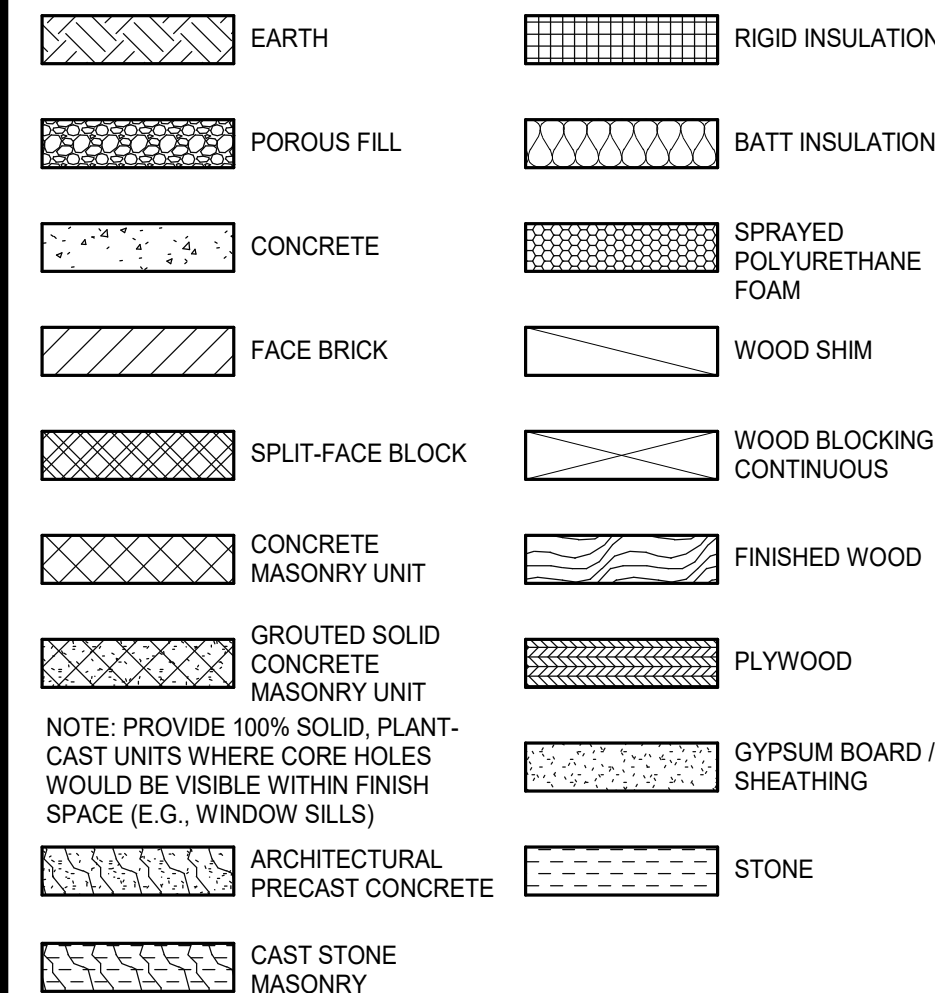
1/4"=1'-0"



ARCHITECTURAL GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. IN THE CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE BETTER QUALITY. IN THE CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE GREATER QUANTITY OF WORK.
- ELEMENTS THAT ARE IDENTIFIED BY OTHER DISCIPLINES (e.g., CIVIL, STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL, ELECTRICAL) ELSEWHERE WITHIN THE ARCHITECTURAL SERIES OF DRAWINGS AND/OR SPECIFICATIONS, OR IDENTIFIED OR COVERED BY DEFAULTS (e.g., SIZES, THICKNESS, SPACING, MATERIALS) IN THE SPECIFICATIONS MAY NOT BE ANNOTATED (NOTE OR KEYNOTED) ON THESE DRAWINGS.
- ELEMENTS IDENTIFIED IN "LEGENDS" AND/OR "GENERAL NOTES" MAY NOT BE NOTED IN DETAILS, OR SECTIONS, AS THESE ELEMENTS ARE IDENTIFIED IN THE LEGENDS (e.g. FACE BRICK, CMU, WINDOWS)
- REFER TO "ASSEMBLIES" FOR MATERIALS AND COMPONENTS THAT MAKE UP THAT PARTICULAR ASSEMBLY (e.g., EXTERIOR WALL ASSEMBLIES, ROOF ASSEMBLIES, AND FIRE-RATED ASSEMBLIES). ONCE A PARTICULAR ASSEMBLY HAS BEEN IDENTIFIED ON ONE DRAWING, THAT SAME ASSEMBLY GRAPHIC SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE. PROVIDE THAT SAME ASSEMBLY AT THE SIMILAR LOCATION WHETHER THE ASSEMBLY GRAPHIC SYMBOL IS SHOWN OR NOT.
- VERIFY ALL DIMENSIONS, INCLUDING DIMENSIONS ON STRUCTURAL DRAWINGS AND OTHER ARCHITECTURAL DRAWINGS. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE CONCRETE HOUSEKEEPING PADS FOR ALL EQUIPMENT INDICATED TO BE MOUNTED OR OTHERWISE REQUIRED TO BE MOUNTED TO THE FLOOR. WHERE PADS ARE NOT SHOWN, PROVIDE 6" THICK CONCRETE PADS W/ 3/4" CHAMFERED EDGES (ALL SIDES). REINFORCE WITH MESH EQUIVALENT TO FLOOR SLAB REINFORCING REQUIREMENTS.

ARCHITECTURAL MATERIALS LEGEND

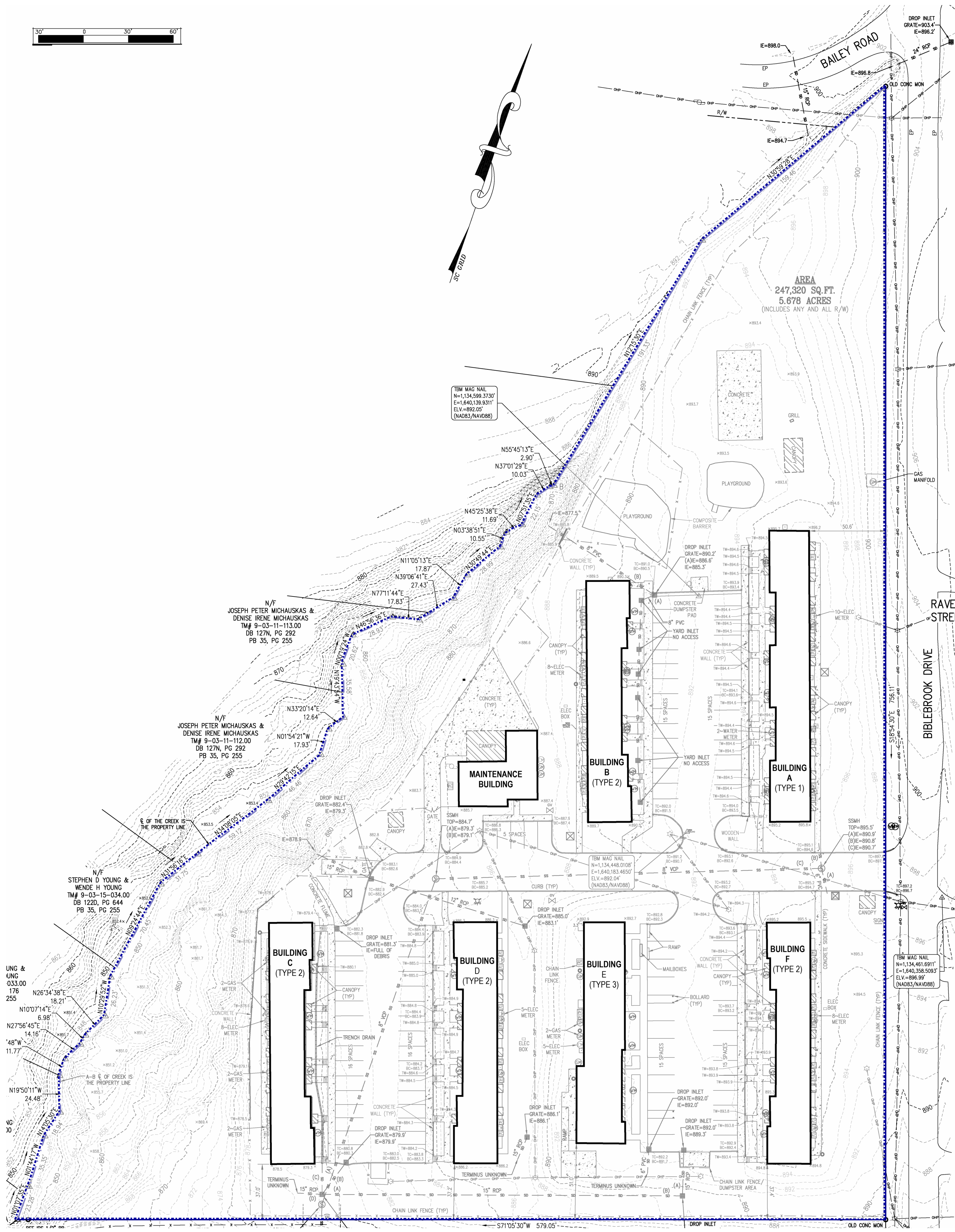


NOTE: PROVIDE 100% SOLID, PLANT-CAST UNITS WHERE CORE HOLES WOULD BE VISIBLE WITHIN FINISH SPACE (E.G., WINDOW SILLS)

REVISIONS	
DATE	DESCRIPTION

H
G
F
E
D
C
B
A

10/23/2024 4:52:07 PM



ARCHITECTURAL SITE PLAN - SCOPE

- A. REPLACE EXISTING PROPERTY SIGNAGE. NEW MONUMENT SIGN IS TO INCLUDE BRICK OR STONE COLUMNS
- B. REPLACE PERIMETER FENCING WITH BLACK CHAIN LINK FENCE
- C. DUMPSTER AREAS - REPLACE FENCING AT DUMPSTER AREA WITH BLACK CHAIN LINK FENCE
- D. PARKING LOT
a. MILL AND OVERLAY EXISTING PARKING AREAS AND RESTRIPE PARKING LOT.
b. ACCESSIBLE PARKING SPACES WITH COMPLIANT SIGNAGE AND STRIPING.
c. ARE TO BE PROVIDED FOR VISITORS, ACCESSIBLE UNITS AND AMENITIES.
- E. SITE LIGHTING
a. REPLACE ALL BUILDING MOUNTED LIGHTING
b. REPLACE HEADS ON ALL POLE MOUNTED LIGHTING
c. ALL NEW SITE LIGHTING IS TO BE ENERGY EFFICIENT LED
- F. LANDSCAPE
a. INCLUDE ALLOWANCE FOR SITE LANDSCAPE AT BARE GROUND AND LOCATIONS WITH EROSION
- G. RETAINING WALLS:
a. CORRECT SITE EROSION AND REPLACE RETAINING WALL ALONG THE WEST PERIMETER OF THE SITE
- H. SEWER LINES ARE TO BE SCOPED AND REPAIRED/REPLACED AS NEEDED
- I. SIDEWALKS WILL BE REFURBISHED AS DESCRIBED IN THE PCNA REPORTS
- J. SITE AMENITIES
a. REMOVE OLDER PLAYGROUND AREA AND SURROUNDING CHAIN LINK FENCE.
b. THE NEWER PLAYGROUND EQUIPMENT IS TO BE KEPT, PROVIDE NEW RUBBER MULCH FOR FALL PROTECTION (IMPACT ABSORBENT).
c. EXISTING PICNIC STRUCTURE IS TO BE KEPT, PROVIDE NEW 30-YR ARCHITECTURAL ASPHALT SHINGLE, PAINT EXISTING RAKES AND FASCIAS.
d. PROVIDE COVERING FOR MAILBOX KIOSK.
e. REMOVE METAL BUS SHELTER
f. REPLACE METAL SMOKING SHELTER

NORTHGATE MANOR

220 BIBLEBROOK DR.
GREER HOUSING AUTHORITY

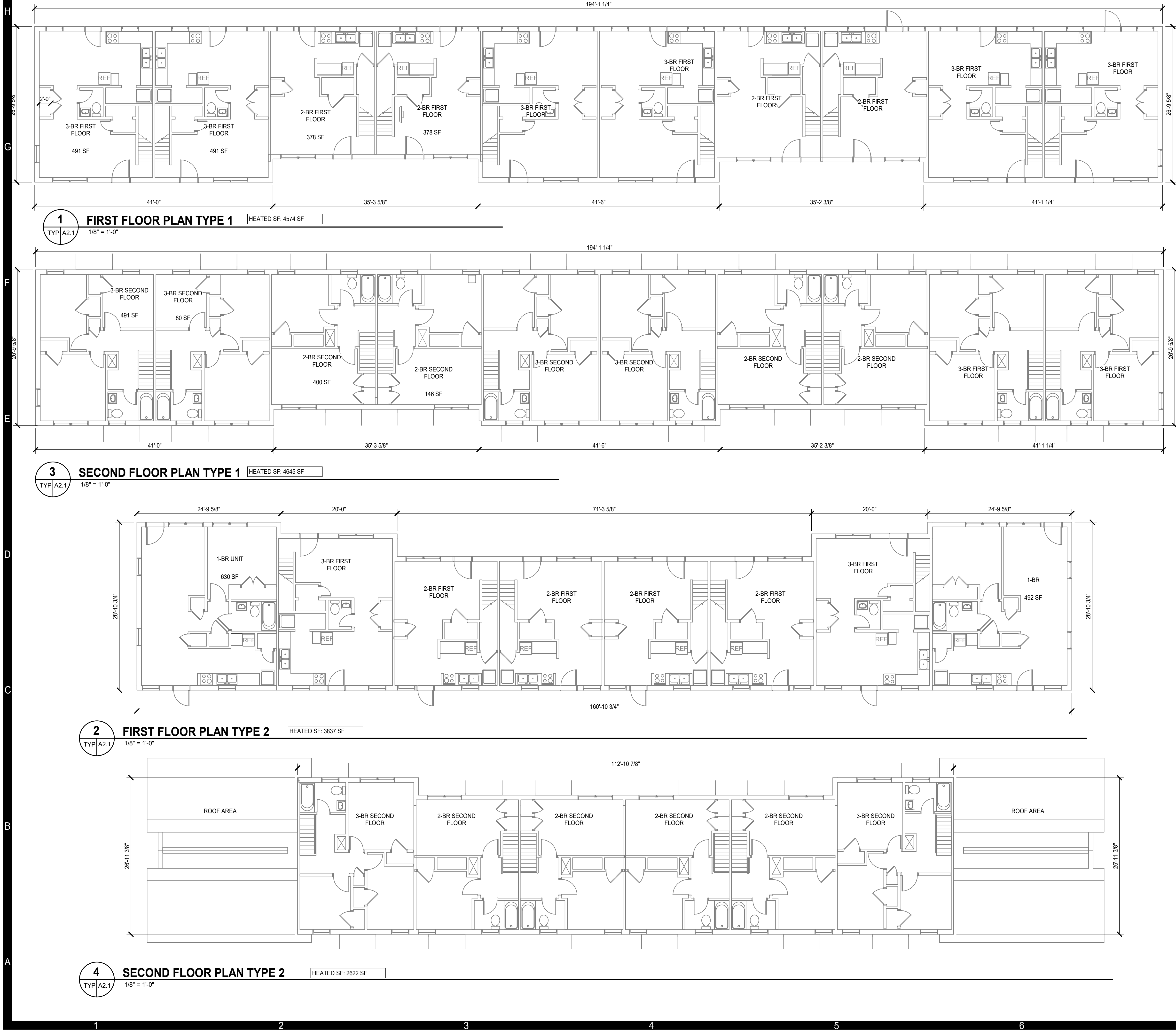
PROJECT NO.	641968
DATE:	OCTOBER 24, 2024
REVISIONS	
DATE	DESCRIPTION

ARCHITECTURAL
SITE PLAN

MOSELEYARCHITECTS

1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230
PHONE (410) 539-4300
MOSELEYARCHITECTS.COM

A1.1



FLOOR PLAN GENERAL NOTES

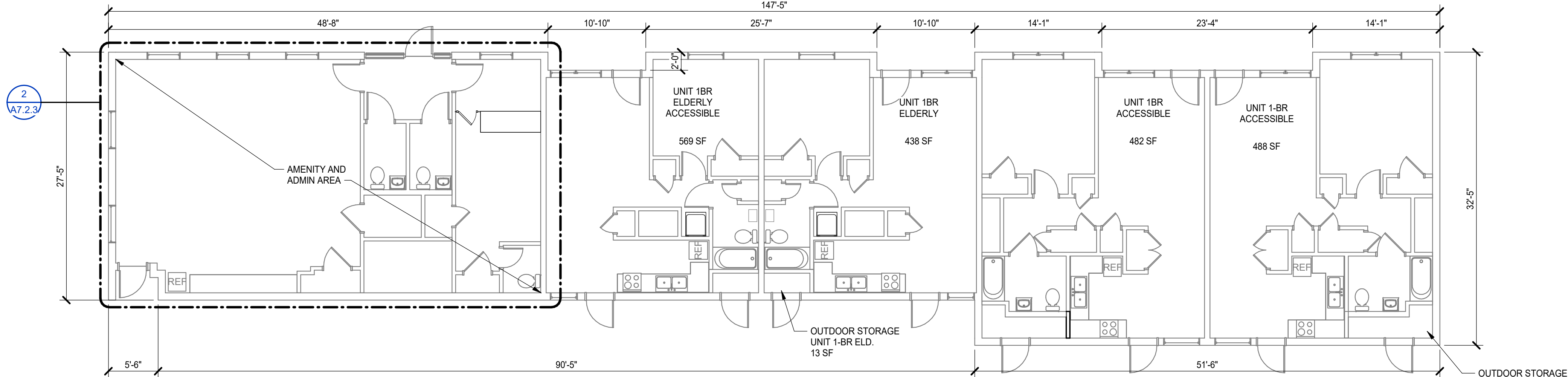
A. DOCUMENTS ARE BASED ON A COMBINATION OF SCANNED AS-BUILT DRAWINGS AND A SITE VISIT. ALL CONDITIONS SHOULD BE FIELD VERIFIED.

FLOOR PLAN UNIT SCOPE NOTES

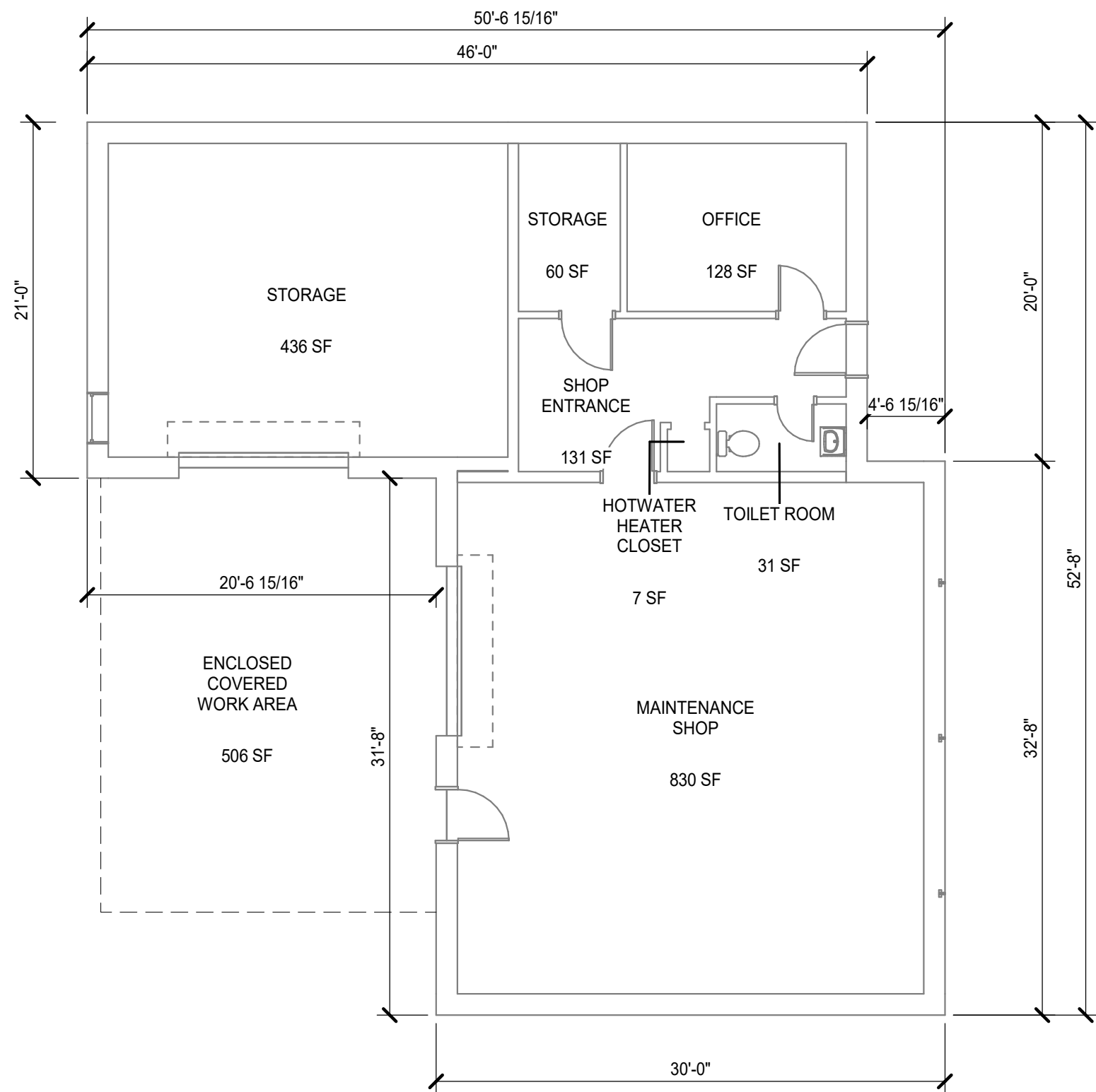
- A. REFER ALSO TO MEP NARRATIVES.
- B. ENTIRE UNIT IS TO BE PAINTED (WALLS AND CEILINGS)
- C. IN MULTI-LEVEL UNITS, REPLACE STAIRS AND RAILINGS.
- D. INTERIOR DOORS
- a. ALL INTERIOR UNIT DOORS ARE TO BE REPLACED WITH NEW HOLLOW-CORE PRE-HUNG PANEL DOORS WITH GRADE 2 LEVEL HARDWARE. EXCEPT FOR REACH IN CLOSETS OR OTHER DOORS NOT REQUIRED FOR PASSAGE, DOOR WIDTH IS TO BE 36" IN ACCESSIBLE UNITS.
- A. KITCHENS
- a. KITCHENS ARE TO PROVIDED WITH NEW CABINETS & PLASTIC LAMINATE COUNTERS.
 - b. NEW RANGE AND ENERGY STAR REFRIGERATOR ARE TO BE INCLUDED. INSTALL SPLASH PANEL BEHIND RANGE.
 - c. OVER-THE-RANGE MICROWAVE / RECIRCULATING EXHAUSTS ARE TO BE PROVIDED IN STANDARD UNITS. PROVIDE RECIRCULATING HOOD AND COUNTERTOP MICROWAVE IN ACCESSIBLE UNITS.
 - d. PROVIDE NEW LUXURY VINYL PLANK FLOORING
 - e. ACCESSIBLE UNIT KITCHENS WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK AND WORKSPACE WILL BE PROVIDED. ALL APPLIANCES WILL BE ADA COMPLIANT.
- B. BATHROOMS
- a. NEW CULTURED MARBLE TOP WITH INTEGRAL BOWL AND VANITY CABINET.
 - b. NEW BATHROOM ACCESSORIES INCLUDING TOWEL BAR, SHOWER CURTAIN ROD, MIRROR/MEDICINE CABINET, DOUBLE ROBE HOOK, AND TOILET TISSUE DISPENSER. IN ACCESSIBLE UNITS INCLUDE GRAB BARS AT TOILET AND TUB.
 - c. NEW CERAMIC TILE FLOORING.
 - d. REPLACE EXISTING BATHTUBS AND TILE TUB SURROUNDS WITH FIBERGLASS TUBS AND TUB SURROUNDS
 - e. REPLACE EXISTING TOILETS. IN ACCESSIBLE UNITS TOILET IS TO BE COMFORT HEIGHT AND ADA COMPLIANT
 - f. IN ACCESSIBLE UNITS BATHROOM WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK WILL BE PROVIDED. ALL PLUMBING FIXTURES WILL BE REPLACED AND WILL BE ADA COMPLIANT.
- C. LIVING ROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- D. BEDROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- E. THERE ARE CURRENTLY (2) ACCESSIBLE UNITS. ONE ADDITIONAL UNIT MUST BE CONVERTED IN ORDER TO MEET THE 5% REQUIREMENT.

FLOOR PLAN AMENITY SCOPE

- A. REPLACE ALL EXTERIOR DOORS AND WINDOWS INCLUDING GARAGE DOOR.
- B. ALL AMENITY AND MAINTENANCE AREAS ARE TO BE PAINTED (WALLS AND CEILING)
- C. REPLACE ALL FLOORING.
- D. RECONFIGURE SPACES AS REQUIRED FOR ADA COMPLIANCE.
- E. REPLACE ALL INTERIOR DOORS AND HARDWARE AS REQUIRED FOR ADA COMPLIANCE
- F. COMMON AREA RESTROOMS
- a. RECONFIGURE AS REQUIRED FOR ADA COMPLIANCE INCLUDEING COMBINING 2 SINGLE-USER TOILET ROOMS INTO ONE LARGER.
 - b. REPLACE COUNTERTOPS AND CABINETRY.
 - c. REPLACE PLUMBING FIXTURES
- G. COMMUNITY ROOM AND KITCHENETTE
- a. REPLACE ALL CABINETS AND SHELVING.
 - b. INSTALL AT ADA COMPLIANT HEIGHTS AND WITH ADA COMPLIANT CLEARANCES.
 - c. PROVIDE NEW SEATING ISLAND WITH CABINETRY BELOW.
- H. LAUNDRY ROOM
- 1. REPLACE ALL FINISHES
 - 1. INTEGRATE NEW COMMON LAUNDRY WITH 4 WASHERS AND 4 DRYERS.
 - 2. INCLUDE COUNTER / CABINETS FOR FOLDING, 2' DEEP X 5' LONG
 - 3. INCLUDE SEATING



1 FIRST FLOOR PLAN TYPE 3
1/8" = 1'-0"
HEATED SF: 3817 SF
UNHEATED SF: 80 SF
TOTAL SF: 3897 SF



2 FLOOR PLAN MAINTENANCE BLDG
1/8" = 1'-0"
HEATED SF: 1756 SF
UNHEATED SF: 506 SF
TOTAL SF: 2262 SF

FLOOR PLAN GENERAL NOTES

A. DOCUMENTS ARE BASED ON A COMBINATION OF SCANNED AS-BUILT DRAWINGS AND A SITE VISIT. ALL CONDITIONS SHOULD BE FIELD VERIFIED.

FLOOR PLAN UNIT SCOPE NOTES

- A. REFER ALSO TO MEP NARRATIVES.
- B. ENTIRE UNIT IS TO BE PAINTED (WALLS AND CEILINGS)
- C. IN MULTI-LEVEL UNITS, REPLACE STAIRS AND RAILINGS.
- D. INTERIOR DOORS
- a. ALL INTERIOR UNIT DOORS ARE TO BE REPLACED WITH NEW HOLLOW-CORE PRE-HUNG PANEL DOORS WITH GRADE 2 LEVEL HARDWARE, EXCEPT FOR REACH IN CLOSETS OR OTHER DOORS NOT REQUIRED FOR PASSAGE. DOOR WIDTH IS TO BE 36" IN ACCESSIBLE UNITS.
- A. KITCHENS
- a. KITCHENS ARE TO PROVIDED WITH NEW CABINETS & PLASTIC LAMINATE COUNTERS.
 - b. NEW RANGE AND ENERGY STAR REFRIGERATOR ARE TO BE INCLUDED. INSTALL SPLASH PANEL BEHIND RANGE.
 - c. OVER-THE-RANGE MICROWAVE / RECIRCULATING EXHAUSTS ARE TO BE PROVIDED IN STANDARD UNITS. PROVIDE RECIRCULATING HOOD AND COUNTERTOP MICROWAVE IN ACCESSIBLE UNITS.
 - d. PROVIDE NEW LUXURY VINYL PLANK FLOORING
 - e. ACCESSIBLE UNIT KITCHENS WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK AND WORKSPACE WILL BE PROVIDED. ALL APPLIANCES WILL BE ADA COMPLIANT.
- B. BATHROOMS
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 - b. NEW BATHROOM ACCESSORIES INCLUDING TOWEL BAR, SHOWER CURTAIN ROD, MIRROR/MEDICINE CABINET, DOUBLE ROBE HOOK, AND TOILET TISSUE DISPENSER. IN ACCESSIBLE UNITS INCLUDE GRAB BARS AT TOILET AND TUB.
 - c. NEW CERAMIC TILE FLOORING.
 - d. REPLACE EXISTING BATHTUBS AND TILE TUB SURROUNDS WITH FIBERGLASS TUBS AND TUB SURROUNDS
 - e. REPLACE EXISTING TOILETS. IN ACCESSIBLE UNITS TOILET IS TO BE COMFORT HEIGHT AND ADA COMPLIANT
 - f. IN ACCESSIBLE UNITS BATHROOM WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK WILL BE PROVIDED. ALL PLUMBING FIXTURES WILL BE REPLACED AND WILL BE ADA COMPLIANT.
- C. LIVING ROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- D. BEDROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- E. THERE ARE CURRENTLY (2) ACCESSIBLE UNITS. ONE ADDITIONAL UNIT MUST BE CONVERTED IN ORDER TO MEET THE 5% REQUIREMENT.

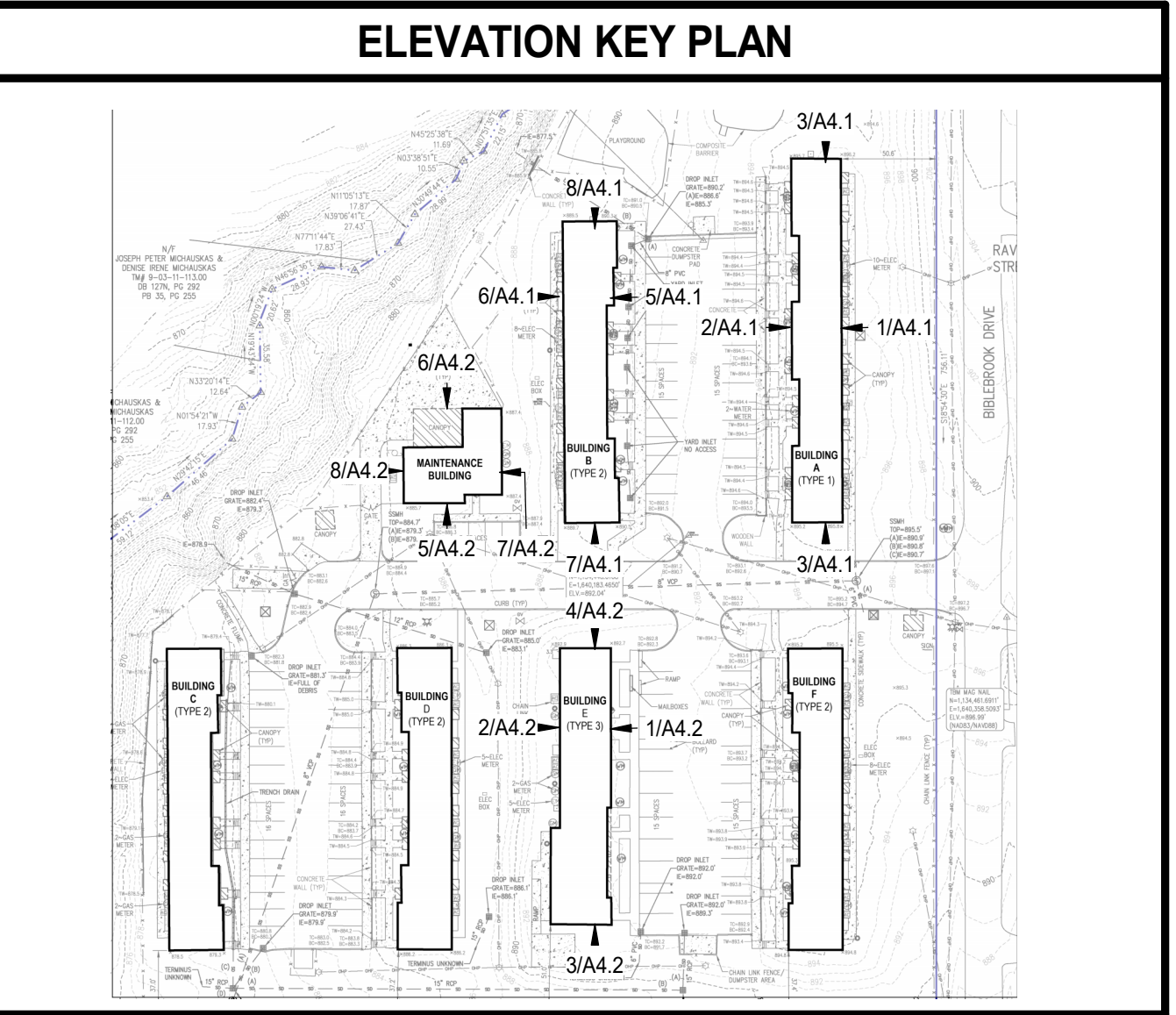
FLOOR PLAN AMENITY SCOPE

- A. REPLACE ALL EXTERIOR DOORS AND WINDOWS INCLUDING GARAGE DOOR.
- B. ALL AMENITY AND MAINTENANCE AREAS ARE TO BE PAINTED (WALLS AND CEILING)
- C. REPLACE ALL FLOORING.
- D. RECONFIGURE SPACES AS REQUIRED FOR ADA COMPLIANCE.
- E. REPLACE ALL INTERIOR DOORS AND HARDWARE AS REQUIRED FOR ADA COMPLIANCE
- F. COMMON AREA RESTROOMS
- a. RECONFIGURE AS REQUIRED FOR ADA COMPLIANCE INCLUDING COMBINING 2 SINGLE-USER TOILET ROOMS INTO ONE LARGER.
 - b. REPLACE COUNTERTOPS AND CABINETRY.
 - c. REPLACE PLUMBING FIXTURES
- G. COMMUNITY ROOM AND KITCHENETTE
- a. REPLACE ALL CABINETS AND SHELVING.
 - b. INSTALL AT ADA COMPLIANT HEIGHTS AND WITH ADA COMPLIANT CLEARANCES.
 - c. PROVIDE NEW SEATING ISLAND WITH CABINETRY BELOW.
- H. LAUNDRY ROOM
- 1. INTEGRATE NEW COMMON LAUNDRY WITH 4 WASHERS AND 4 DRYERS.
 - 2. INCLUDE COUNTER / CABINETS FOR FOLDING, 2' DEEP X 5' LONG
 - 3. INCLUDE SEATING

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ELEVATION SCOPE NOTES	
A. ROOFING	a. TO ENSURE THAT THE ROOFING WILL REMAIN IN GOOD CONDITION FOR THE DURATION OF THE TERM, THE SCOPE OF WORK INCLUDES FULL REPLACEMENT. A SUMMARY OF THE SCOPE OF WORK IS AS FOLLOWS.
	• REMOVE EXISTING ASPHALT SHINGLES AND UNDERLAYMENT, INSPECT SHEATHING AND REPLACE ANY DAMAGED PANELS. FOR PRICING PURPOSES INCLUDE (2) SHEETS OF 4' X 8' PLYWOOD PANELS FOR EACH BUILDING.
	• PROVIDE NEW 30-YR ARCHITECTURAL ASPHALT SHINGLES ON 30# BUILDING FELT OR EQUIVALENT ROOFING UNDERLAYMENT. INSTALL ICE-AND-WATERSHIELD AT ALL LOCATIONS RECOMMENDED BY MANUFACTURER. PROVIDED CONTINUOUS RIDGE VENT.
	• REPLACE EXISTING GUTTERS AND DOWNSPOUTS. TERMINATE DOWNSPOUTS AT EXTENDED SPLASH BLOCKS.
	• REMOVE EXISTING SOFFITS AND INSTALL NEW VENTED, BEADED VINYL SOFFIT.
	• CAP ALL FASCIAS AND RAKES WITH PREFINISHED ALUMINUM.
	• SUPPLEMENT EXISTING R-18 INSULATION TO ACHIEVE R-30 MIN. INSTALL 2" INSULATION BAFFLES AT EAVE TO ENSURE THAT PROPER VENTILATION IS MAINTAINED.
B. UNIT ENTRY DOORS	a. REPLACE EXISTING PRIMARY AND SECOND UNIT ENTRANCES AND STORAGE ROOM DOORS AS WELL AS THE GLASS STOREFRONT DOOR AT THE AMENITY SPACE ENTRANCE.
C. WINDOWS	a. REPLACE ALL WINDOWS WITH ENERGY STAR 7 WHITE VINYL WINDOWS, OPERABILITY AND SIZE TO MATCH EXISTING. IN BEDROOMS, COMPLY WITH EMERGENCY EGRESS SIZING.
	b. EXTERIOR OF WINDOWS TO BE CAULKED, AND INTERIOR TO BE SEALED, ENSURE WEATHER-TIGHT CONDITION.
D. MASONRY	a. REPOINT AS REQUIRED, INCLUDE 10% REPOINTING ALLOWANCE.
	b. RE-PAINT EXISTING PAINTED BRICK VENEER.
E. SIDING	a. SIDING IS TO BE REPLACED. SCOPE AS FOLLOWS:
	• REMOVE EXISTING SIDING. INSPECT CONDITION OF EXISTING SHEATHING. INCLUDE REPLACEMENT OF 25% OF THE WALL SHEATHING ON EACH BUILDING.
	• INSTALL NEW HORIZONTAL VINYL SIDING ON COMMERCIAL SHEET AIR BARRIER AT LOCATIONS WHERE THERE IS CURRENTLY SIDING.
	• PROVIDE PREFINISHED METAL FLASHING WITH DRIP EDGE AT TRANSITION BETWEEN SIDING AND BRICK.



MOSELEYARCHITECTS

NORTHGATE MANOR

220 BIBLEBROOK DR.
GREER HOUSING AUTHORITY

PROJECT NO.	641968
DATE:	OCTOBER 24, 2024
REVISIONS	
DATE	DESCRIPTION

BUILDING TYPE
1 & 2
ELEVATIONS

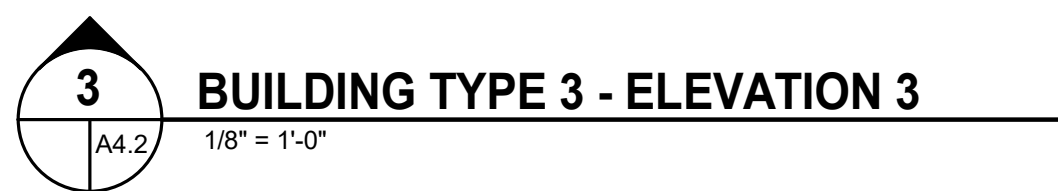
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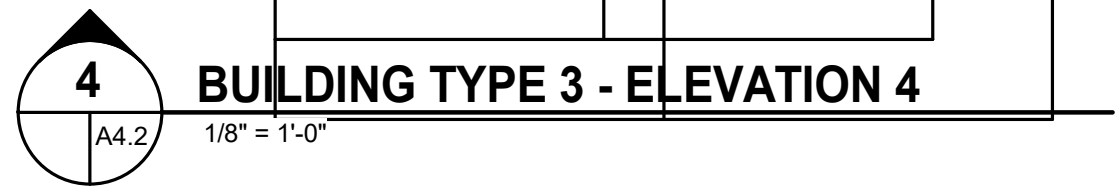
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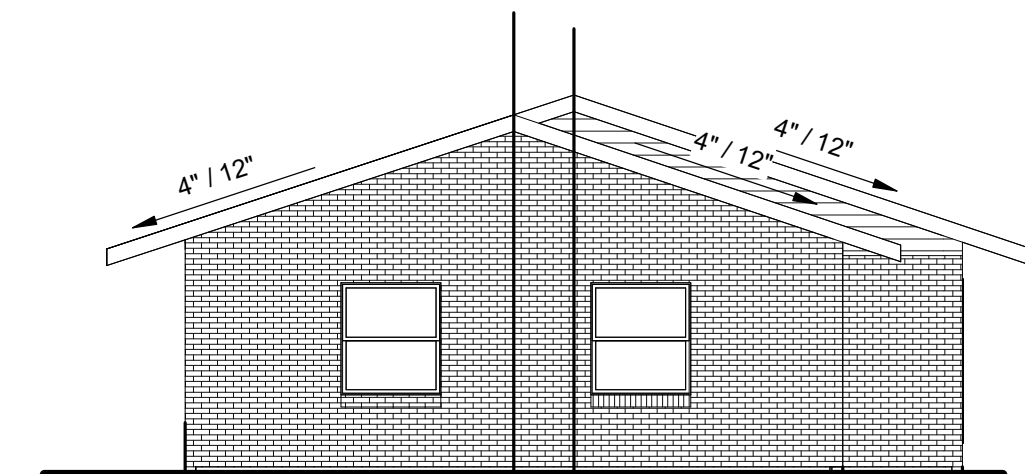
BUILDING TYPE 3 - ELEVATION 3

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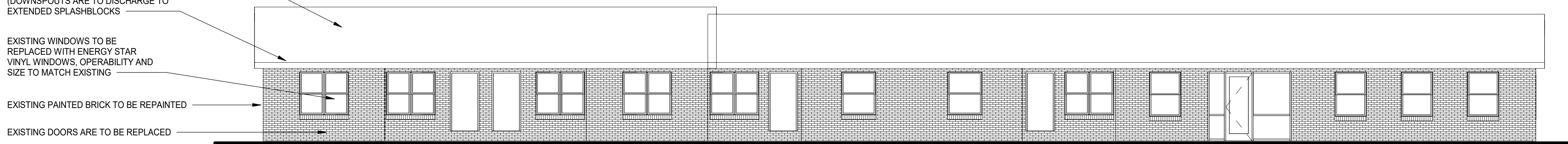
BUILDING TYPE 3 - ELEVATION 4

1/8" = 1'-0"



BUILDING TYPE 3 - ELEVATION 2

1/8" = 1'-0"



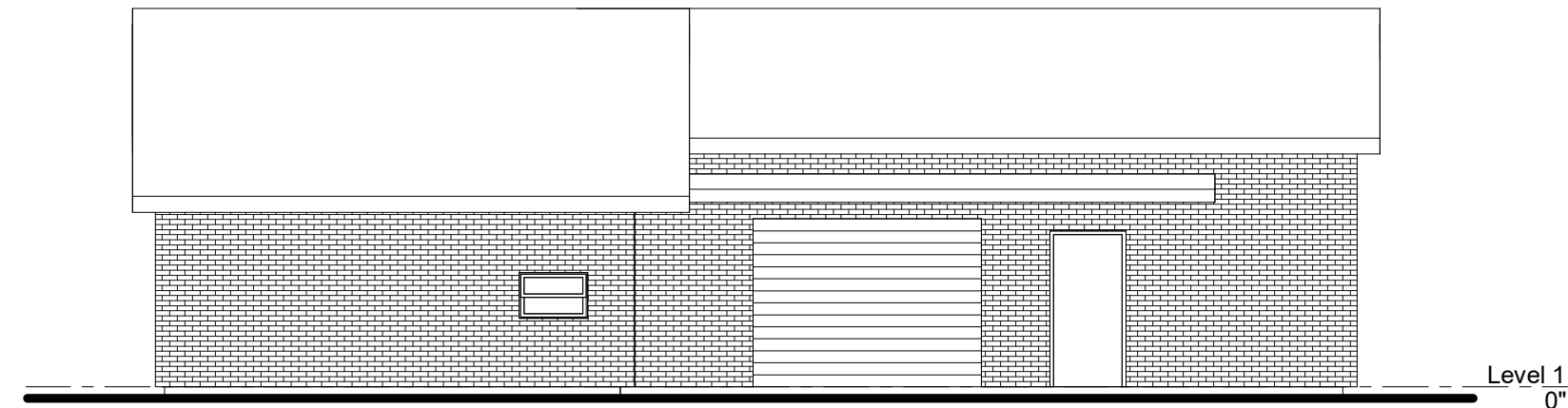
SCOPE AND MATERIAL NOTES ON THIS ELEVATION APPLY TO ALL ON SHEET

- REPLACE EXISTING SHINGLES WITH 30-YR ARCHITECTURAL SHINGLES WITH RIDGE VENT
- WRAP EXISTING FASCIAS AND RAKES, REPLACE VENTED SOFFITS, AND REPLACE GUTTERS AND DOWNSPOUT (DOWNSPOUTS ARE TO DISCHARGE TO EXTENDED SPLASHBLOCKS)
- EXISTING WINDOWS TO BE REPLACED WITH ENERGY STAR VINYL WINDOWS, OPERABILITY AND SIZE TO MATCH EXISTING
- EXISTING PAINTED BRICK TO BE REPAINTED
- EXISTING DOORS ARE TO BE REPLACED



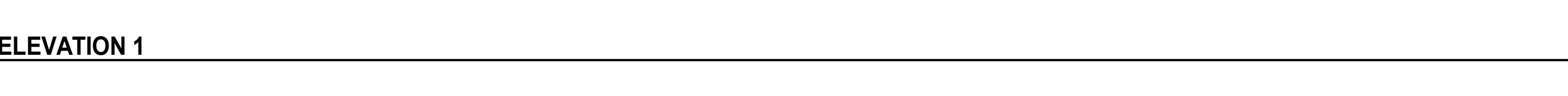
MAINTENANCE BUILDING - ELEVATION 6

1/8" = 1'-0"



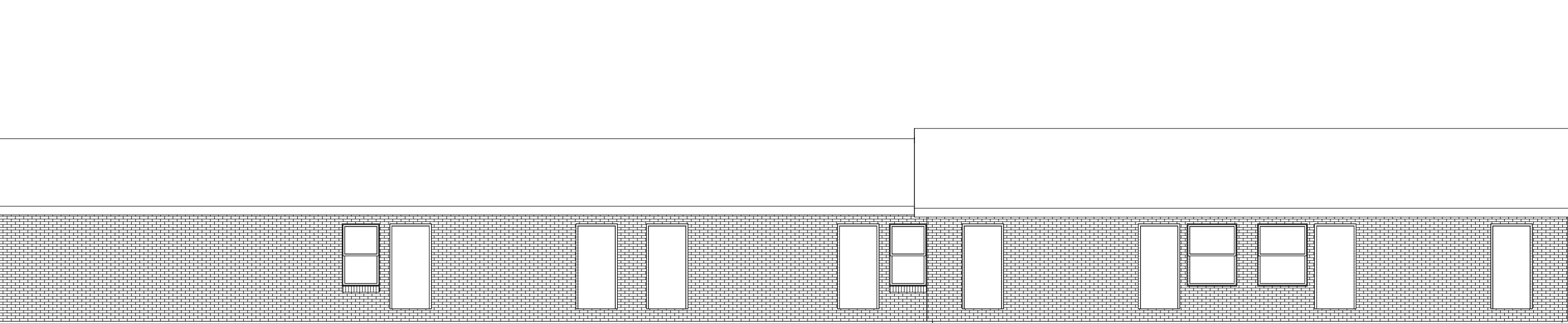
MAINTENANCE BUILDING - ELEVATION 8

1/8" = 1'-0"



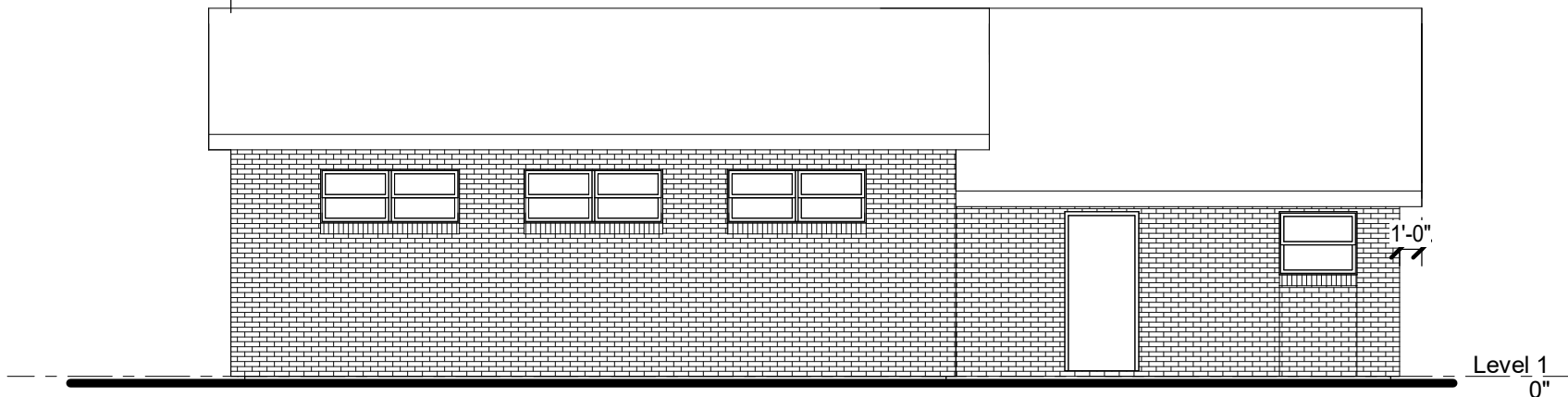
BUILDING TYPE 3 - ELEVATION 1

1/8" = 1'-0"



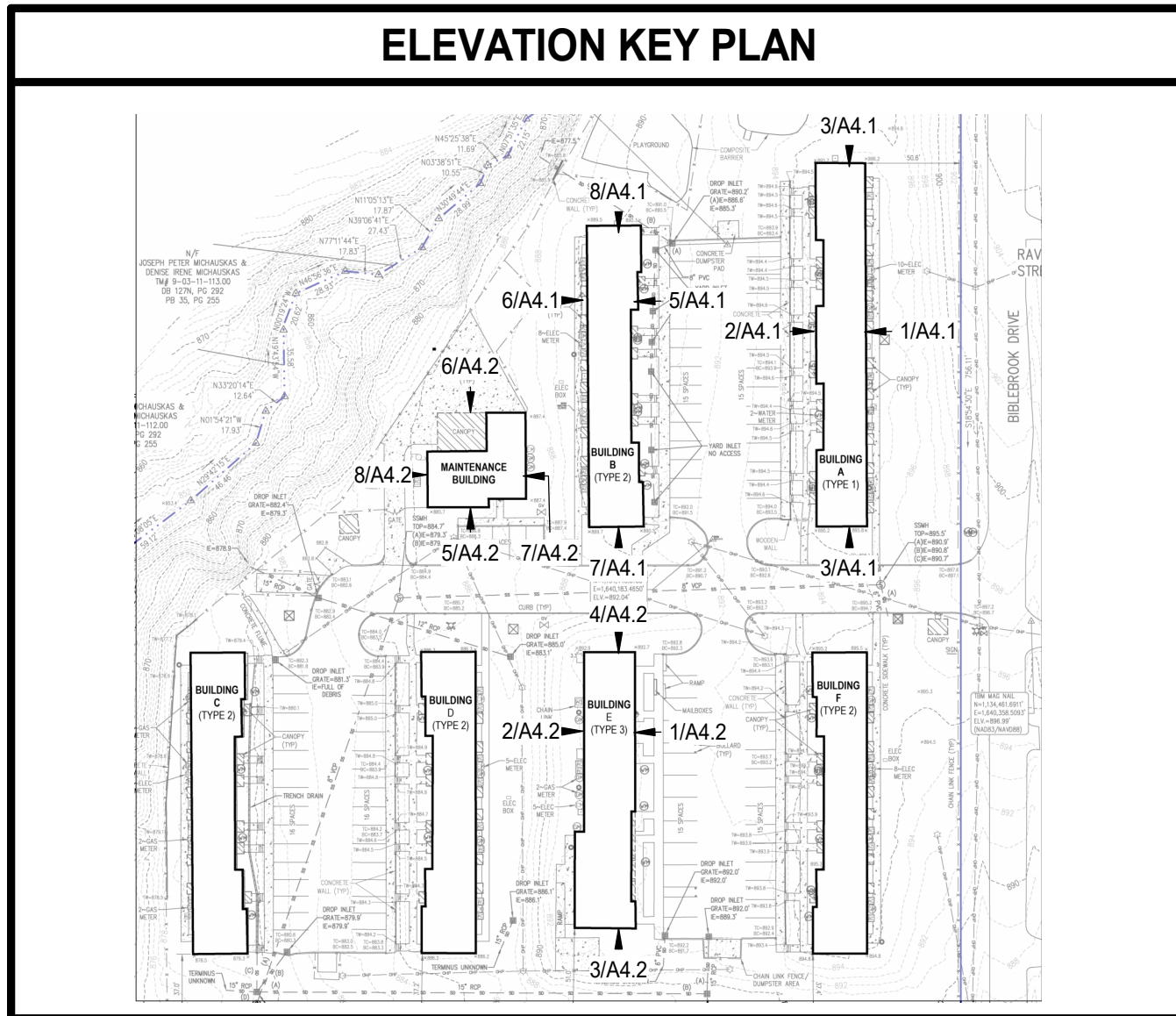
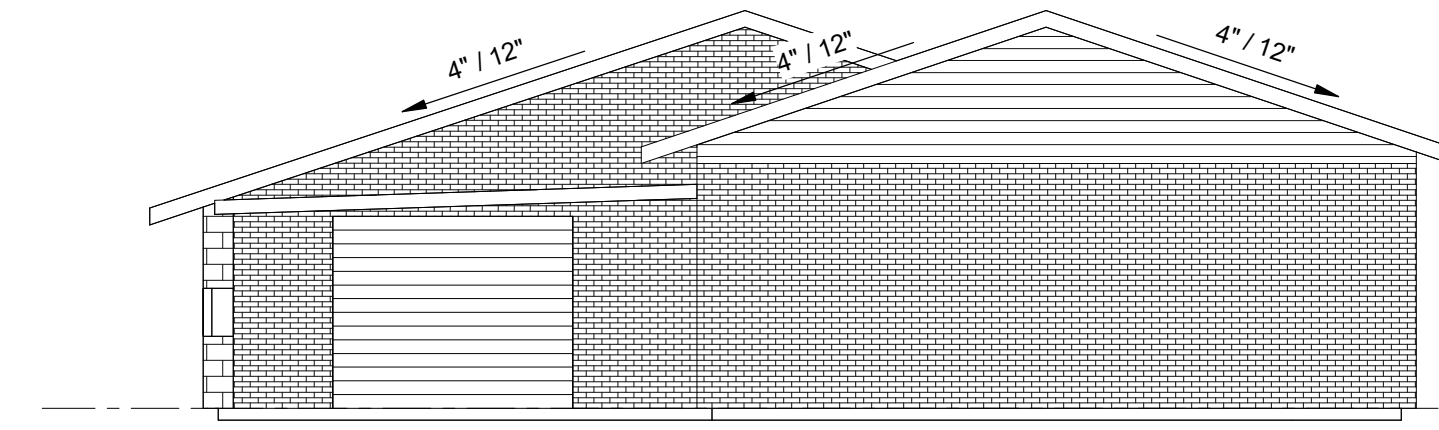
MAINTENANCE BUILDING - ELEVATION 5

1/8" = 1'-0"



MAINTENANCE BUILDING - ELEVATION 7

1/8" = 1'-0"



ELEVATION SCOPE NOTES

- A. ROOFING
- TO ENSURE THAT THE ROOFING WILL REMAIN IN GOOD CONDITION FOR THE DURATION OF THE TERM, THE SCOPE OF WORK INCLUDES FULL REPLACEMENT. A SUMMARY OF THE SCOPE OF WORK IS AS FOLLOWS:
 - REMOVE EXISTING ASPHALT SHINGLES AND UNDERLAYMENT. INSPECT SHEATHING AND REPLACE ANY DAMAGED PANELS. FOR PRICING PURPOSES INCLUDE (2) SHEETS OF 4' X 8' PLYWOOD PANELS FOR EACH BUILDING.
 - PROVIDE NEW 30-YR ARCHITECTURAL ASPHALT SHINGLES ON 30# BUILDING FELT OR EQUIVALENT ROOFING UNDERLAYMENT. INSTALL ICE-AND-WATERSHIELD AT ALL LOCATIONS RECOMMENDED BY MANUFACTURER. PROVIDED CONTINUOUS RIDGE VENT.
 - REPLACE EXISTING GUTTERS AND DOWNSPOUTS. TERMINATE DOWNSPOUTS AT EXTENDED SPLASH BLOCKS.
 - REMOVE EXISTING SOFFITS AND INSTALL NEW VENTED, BEADED VINYL SOFFIT.
 - CAP ALL FASCIAS AND RAKES WITH PREFINISHED ALUMINUM.
 - SUPPLEMENT EXISTING R-18 INSULATION TO ACHIEVE R-30 MIN. INSTALL 2" INSULATION BAFFLES AT EAVE TO ENSURE THAT PROPER VENTILATION IS MAINTAINED.
- B. UNIT ENTRY DOORS
- REPLACE EXISTING PRIMARY AND SECOND UNIT ENTRANCES AND STORAGE ROOM DOORS AS WELL AS THE GLASS STOREFRONT DOOR AT THE AMENITY SPACE ENTRANCE.
- C. WINDOWS
- REPLACE ALL WINDOWS WITH ENERGY STAR 7 WHITE VINYL WINDOWS, OPERABILITY AND SIZE TO MATCH EXISTING. IN BEDROOMS, COMPLY WITH EMERGENCY EGRESS SIZING.
 - EXTERIOR OF WINDOWS TO BE CAULKED, AND INTERIOR TO BE SEALED, ENSURE WEATHER-TIGHT CONDITION.
- D. MASONRY
- REPOINT AS REQUIRED, INCLUDE 10% REPOINTING ALLOWANCE.
 - RE-PAINT EXISTING PAINTED BRICK VENER.
- E. SIDING
- SIDING IS TO BE REPLACED. SCOPE AS FOLLOWS:
 - REMOVE EXISTING SIDING. INSPECT CONDITION OF EXISTING SHEATHING. INCLUDE REPLACEMENT OF 25% OF THE WALL SHEATHING ON EACH BUILDING.
 - INSTALL NEW HORIZONTAL VINYL SIDING ON COMMERCIAL SHEET AIR BARRIER AT LOCATIONS WHERE THERE IS CURRENTLY SIDING.
 - PROVIDE PREFINISHED METAL FLASHING WITH DRIP EDGE AT TRANSITION BETWEEN SIDING AND BRICK.

NORTHGATE MANOR
220 BIBLEBROOK DR.
GREER HOUSING AUTHORITY

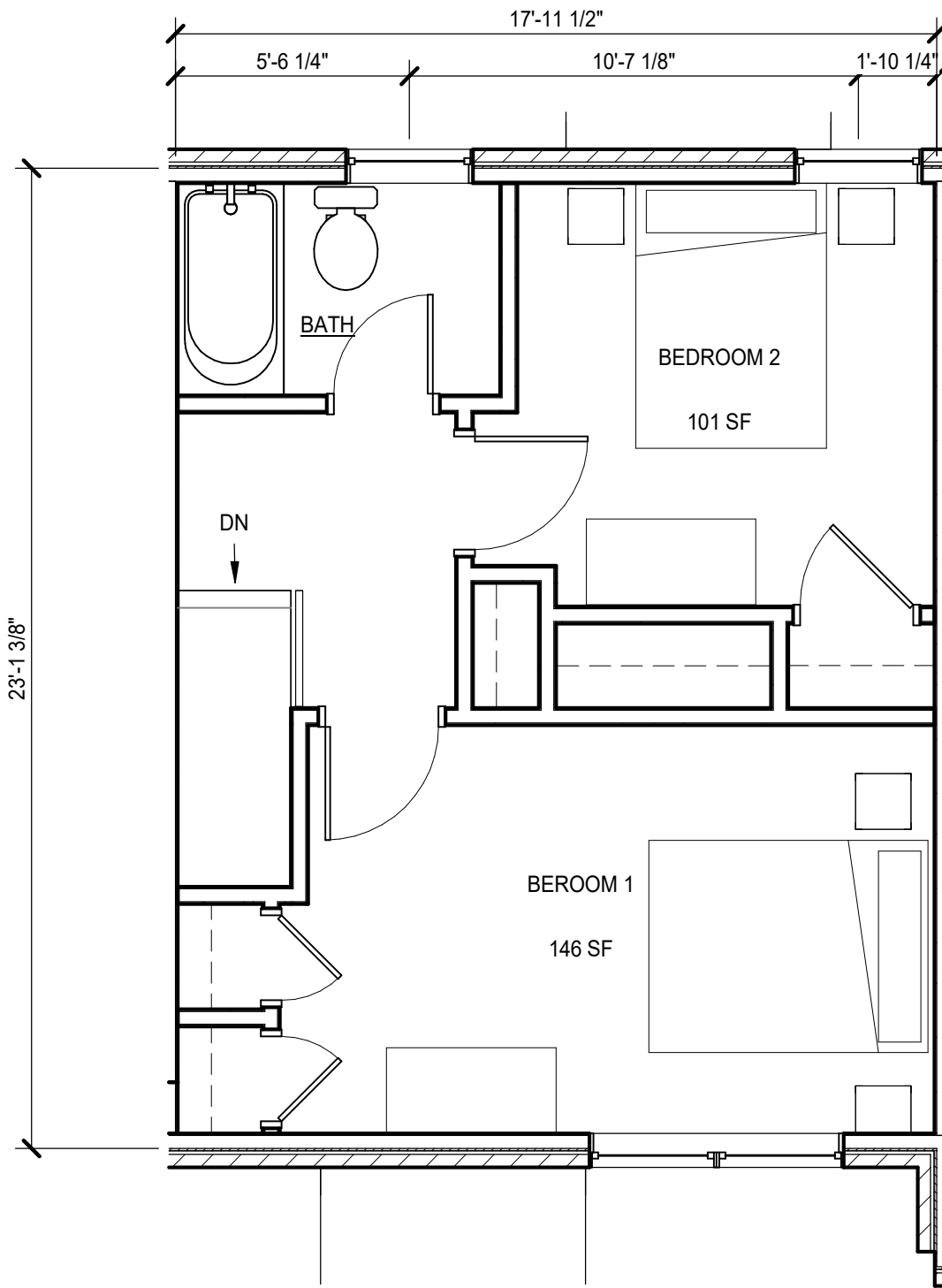
PROJECT NO. 641968
DATE: OCTOBER 24, 2024
REVISIONS
DATE DESCRIPTION

**BUILDING TYPE
3 & MAINT.
ELEVATIONS**

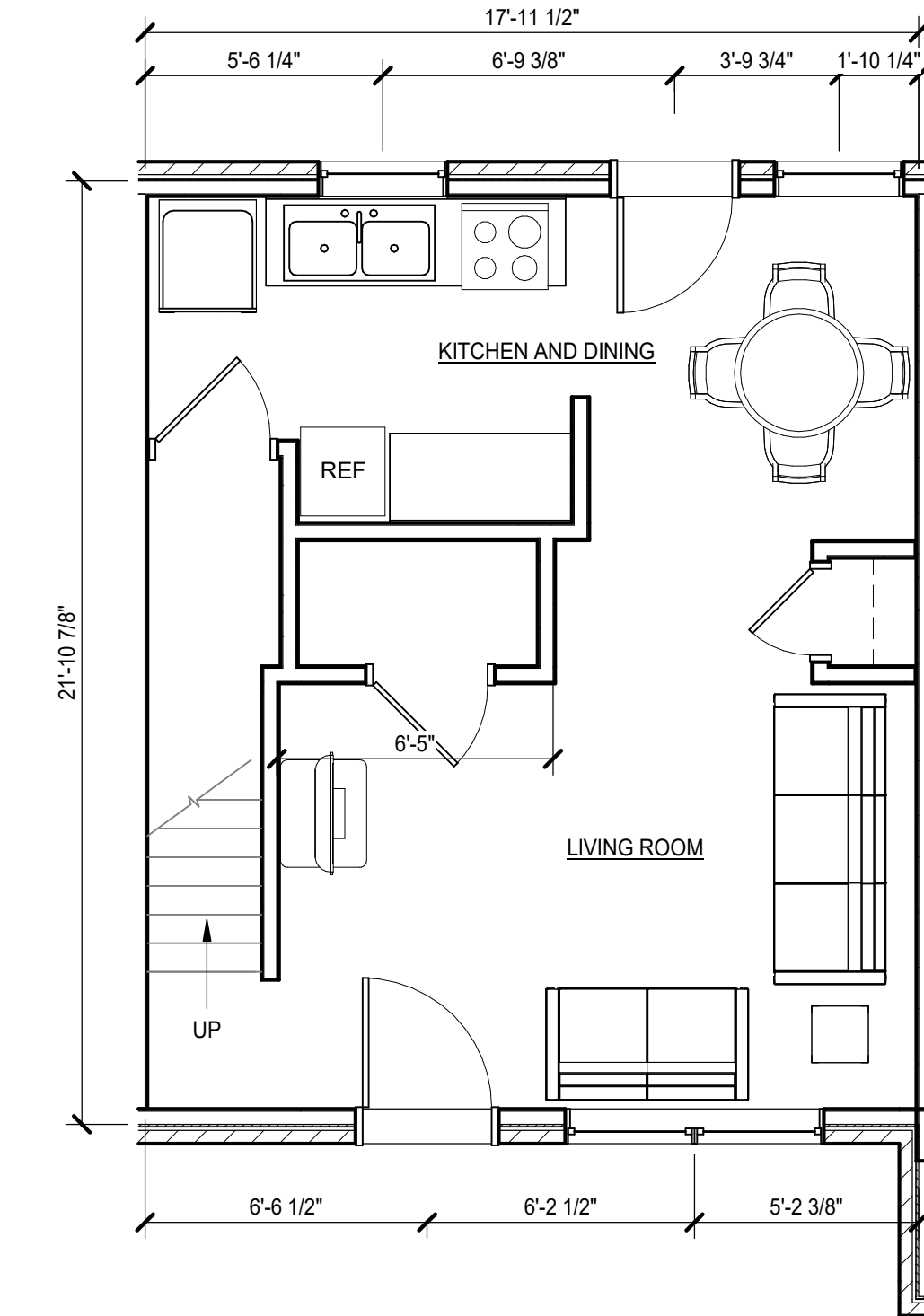
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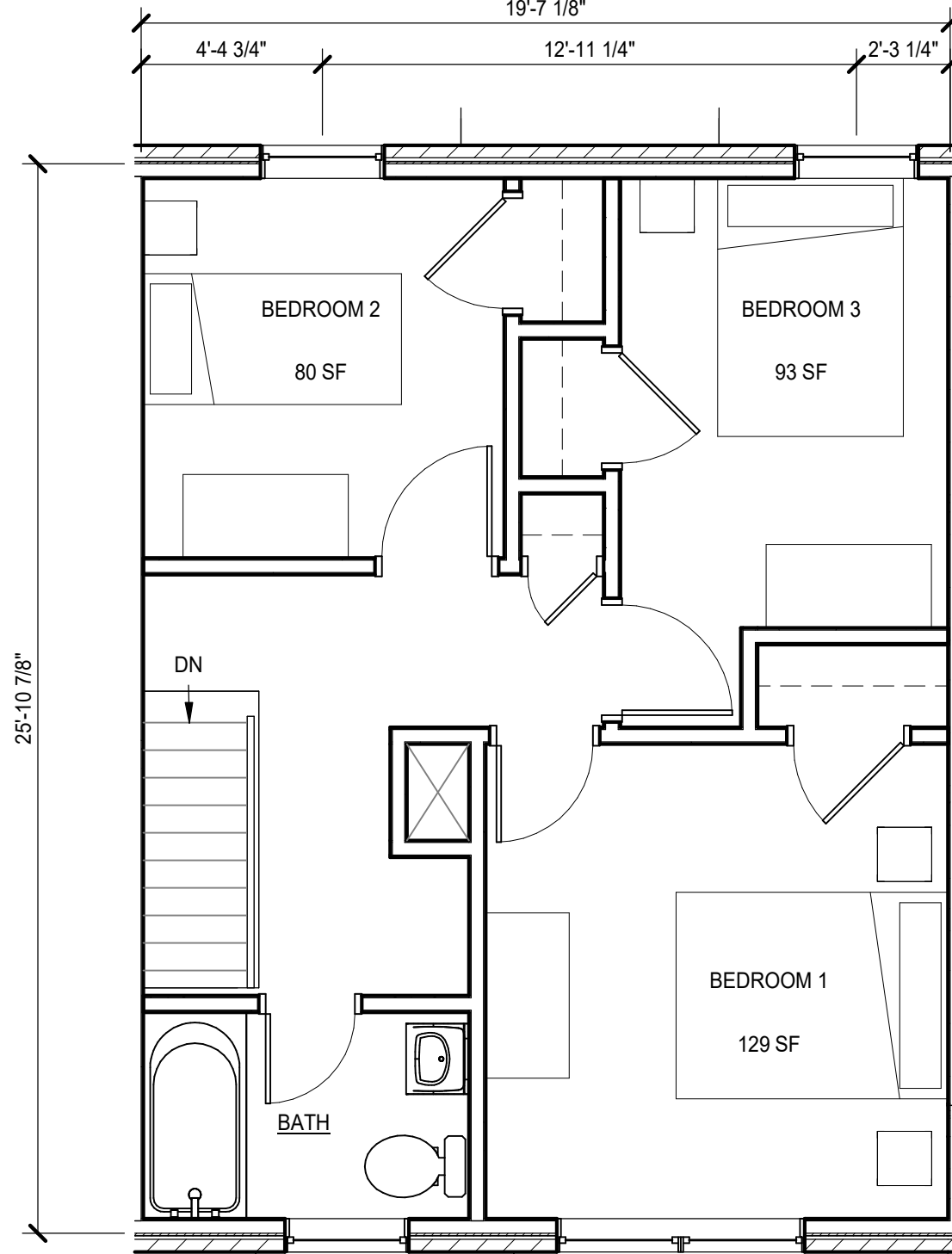
1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230
PHONE (410) 539-4300
MOSELEYARCHITECTS.COM



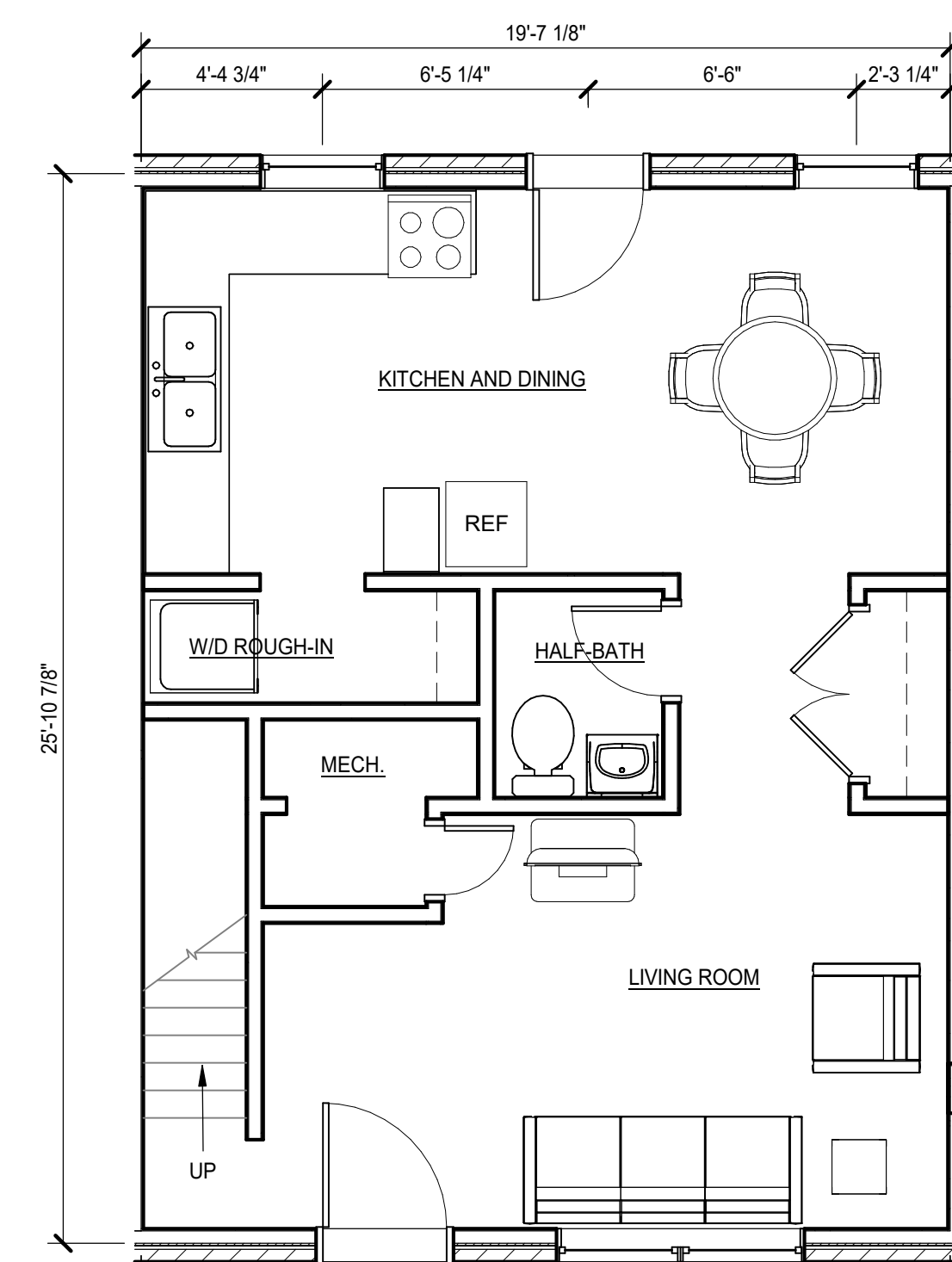
4 ENLARGED UNIT PLAN 2-BR UPPER LEVEL 400 HEATED SF
TYP | A7.2.1 1/4" = 1'-0"



3 ENLARGED UNIT PLAN 2-BR LOWER LEVEL 378 HEATED SF
TYP | A7.2.1 1/4" = 1'-0"



2 ENLARGED UNIT PLAN 3-BR UPPER LEVEL 491 HEATED SF
TYP | A7.2.1 1/4" = 1'-0"



1 ENLARGED UNIT PLAN 3-BR LOWER LEVEL 491 HEATED SF
TYP | A7.2.1 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

A. DOCUMENTS ARE BASED ON A COMBINATION OF SCANNED AS-BUILT DRAWINGS AND A SITE VISIT. ALL CONDITIONS SHOULD BE FIELD VERIFIED.

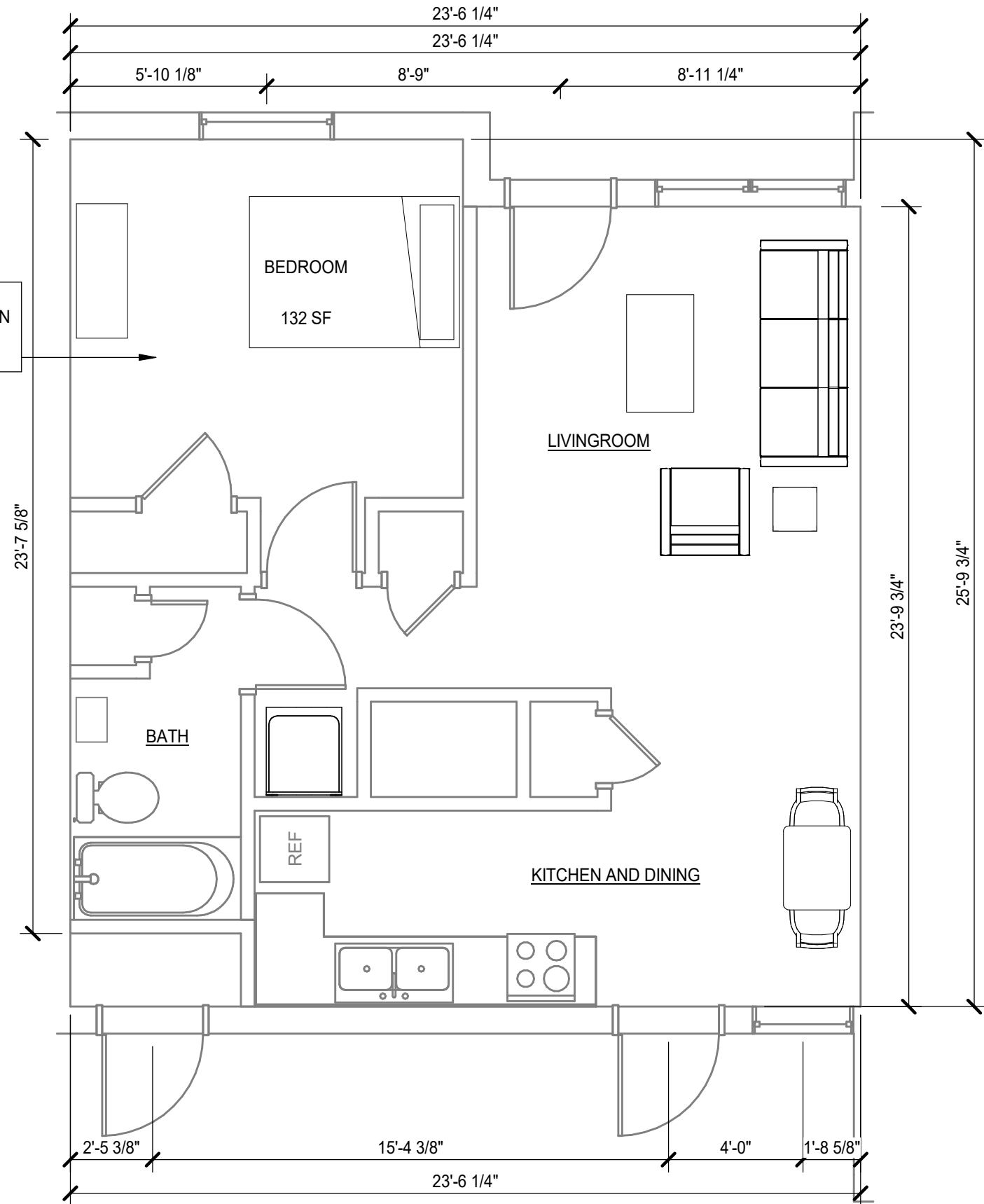
FLOOR PLAN UNIT SCOPE NOTES

- A. REFER ALSO TO MEP NARRATIVES.
- B. ENTIRE UNIT IS TO BE PAINTED (WALLS AND CEILINGS).
- C. IN MULTI-LEVEL UNITS, REPLACE STAIRS AND RAILINGS.
- D. INTERIOR DOORS
- a. ALL INTERIOR UNIT DOORS ARE TO BE REPLACED WITH NEW HOLLOW-CORE PRE-HUNG PANEL DOORS WITH GRADE 2 LEVEL HARDWARE, EXCEPT FOR REACH IN CLOSETS OR OTHER DOORS NOT REQUIRED FOR PASSAGE. DOOR WIDTH IS TO BE 36" IN ACCESSIBLE UNITS.
- A. KITCHENS
- a. KITCHENS ARE TO PROVIDED WITH NEW CABINETS & PLASTIC LAMINATE COUNTERS.
 - b. NEW RANGE AND ENERGY STAR REFRIGERATOR ARE TO BE INCLUDED. INSTALL SPLASH PANEL BEHIND RANGE.
 - c. OVER-THE-RANGE MICROWAVE / RECIRCULATING EXHAUSTS ARE TO BE PROVIDED IN STANDARD UNITS. PROVIDE RECIRCULATING HOOD AND COUNTERTOP MICROWAVE IN ACCESSIBLE UNITS.
 - d. PROVIDE NEW LUXURY VINYL PLANK FLOORING
 - e. ACCESSIBLE UNIT KITCHENS WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK AND WORKSPACE WILL BE PROVIDED. ALL APPLIANCES WILL BE ADA COMPLIANT.
- B. BATHROOMS
- a. NEW CULTURED MARBLE TOP WITH INTEGRAL BOWL AND VANITY CABINET.
 - b. NEW BATHROOM ACCESSORIES INCLUDING TOWEL BAR, SHOWER CURTAIN ROD, MIRROR/MEDICINE CABINET, DOUBLE ROBE HOOK, AND TOILET TISSUE DISPENSER. IN ACCESSIBLE UNITS INCLUDE GRAB BARS AT TOILET AND TUB.
 - c. NEW CERAMIC TILE FLOORING.
 - d. REPLACE EXISTING BATHTUBS AND TILE TUB SURROUNDS WITH FIBERGLASS TUBS AND TUB SURROUNDS
 - e. REPLACE EXISTING TOILETS. IN ACCESSIBLE UNITS TOILET IS TO BE COMFORT HEIGHT AND ADA COMPLIANT
 - f. IN ACCESSIBLE UNITS BATHROOM WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK AND WORKSPACE WILL BE PROVIDED. ALL PLUMBING FIXTURES WILL BE REPLACED AND WILL BE ADA COMPLIANT.
- C. LIVING ROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- D. BEDROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- E. THERE ARE CURRENTLY (2) ACCESSIBLE UNITS. ONE ADDITIONAL UNIT MUST BE CONVERTED IN ORDER TO MEET THE 5% REQUIREMENT.

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A
B
C
D
E
F
G
H

THERE ARE (2) OF THIS UNIT TYPE. ONE OF THEM WILL BE RECONFIGURED AS NECESSARY TO BE AN ACCESSIBLE UNIT COMPLYING WITH CURRENT STANDARDS

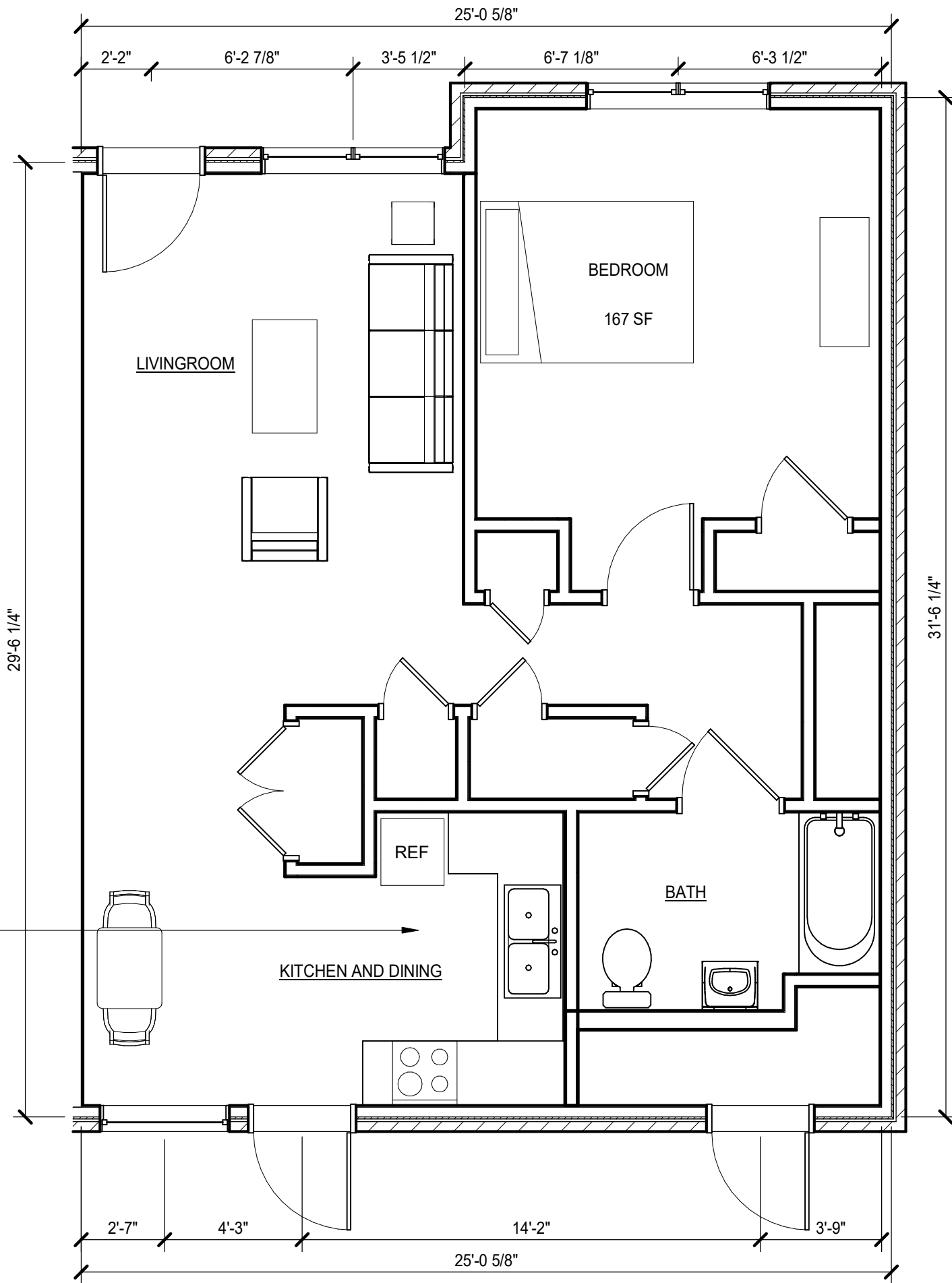


2
TYP A7.2.2
1/4" = 1'-0"

1BR ELDERLY

HEATED SF: 569 SF
UNHEATED SF: 13 SF
TOTAL SF: 582 SF

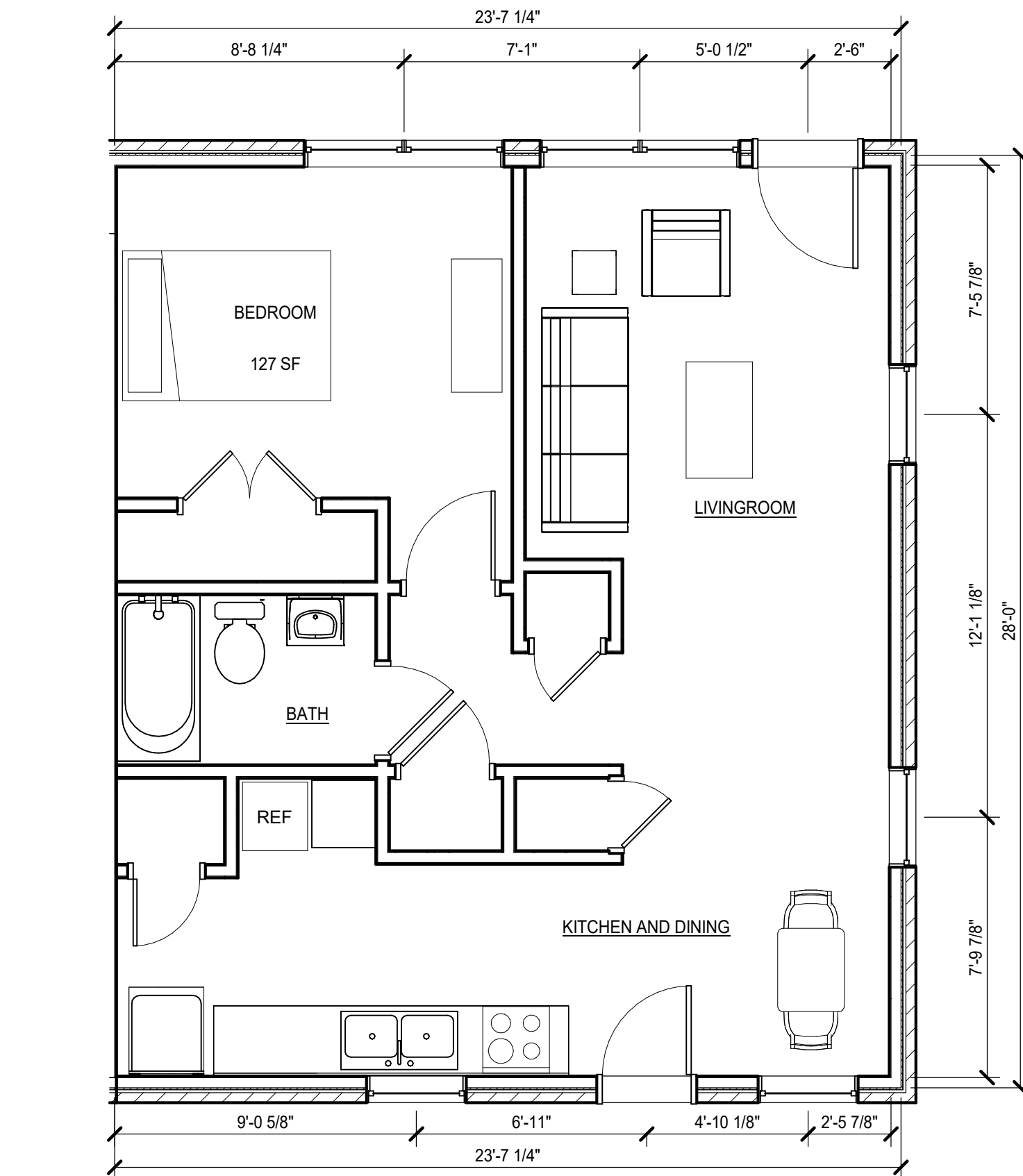
KITCHEN WILL NEED TO BE RECONFIGURED TO COMPLY WITH CURRENT ACCESSIBILITY STANDARDS. SOME CHANGE TO WALL LAYOUT WILL BE REQUIRED



3
TYP A7.2.2
1/4" = 1'-0"

1BR UNIT BLDG E - ACCESSIBLE

HEATED SF: 703 SF
UNHEATED SF: 27 SF
TOTAL SF: 730 SF



1
TYP A7.2.2
1/4" = 1'-0"

1BR UNIT PLAN

HEATED SF: 633 SF

FLOOR PLAN GENERAL NOTES

A. DOCUMENTS ARE BASED ON A COMBINATION OF SCANNED AS-BUILT DRAWINGS AND A SITE VISIT. ALL CONDITIONS SHOULD BE FIELD VERIFIED.

FLOOR PLAN UNIT SCOPE NOTES

- A. REFER ALSO TO MEP NARRATIVES.
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- a. ALL INTERIOR UNIT DOORS ARE TO BE REPLACED WITH NEW HOLLOW-CORE PRE-HUNG PANEL DOORS WITH GRADE 2 LEVEL HARDWARE, EXCEPT FOR REACH IN CLOSETS OR OTHER DOORS NOT REQUIRED FOR PASSAGE. DOOR WIDTH IS TO BE 36" IN ACCESSIBLE UNITS.
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 - b. NEW RANGE AND ENERGY STAR REFRIGERATOR ARE TO BE INCLUDED. INSTALL SPLASH PANEL BEHIND RANGE.
 - c. OVER-THE-RANGE MICROWAVE / RECIRCULATING EXHAUSTS ARE TO BE PROVIDED IN STANDARD UNITS. PROVIDE RECIRCULATING HOOD AND COUNTERTOP MICROWAVE IN ACCESSIBLE UNITS.
 - d. PROVIDE NEW LUXURY VINYL PLANK FLOORING
 - e. ACCESSIBLE UNIT KITCHENS WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK AND WORKSPACE WILL BE PROVIDED. ALL APPLIANCES WILL BE ADA COMPLIANT.
- F. BATHROOMS
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 - b. NEW BATHROOM ACCESSORIES INCLUDING TOWEL BAR, SHOWER CURTAIN ROD, MIRROR/MEDICINE CABINET, DOUBLE ROBE HOOK, AND TOILET TISSUE DISPENSER. IN ACCESSIBLE UNITS INCLUDE GRAB BARS AT TOILET AND TUB.
 - c. NEW CERAMIC TILE FLOORING.
 - d. REPLACE EXISTING BATHTUBS AND TILE TUB SURROUNDS WITH FIBERGLASS TUBS AND TUB SURROUNDS
 - e. REPLACE EXISTING TOILETS. IN ACCESSIBLE UNITS TOILET IS TO BE COMFORT HEIGHT AND ADA COMPLIANT
 - f. IN ACCESSIBLE UNITS BATHROOM WILL BE RECONFIGURED AS REQUIRED TO COMPLY WITH TYPE A CRITERIA. ROLL-UNDER SINK AND WORKSPACE WILL BE PROVIDED. ALL PLUMBING FIXTURES WILL BE REPLACED AND WILL BE ADA COMPLIANT.
- G. LIVING ROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- H. BEDROOMS
- a. NEW LUXURY VINYL PLANK FLOORING
- I. THERE ARE CURRENTLY (2) ACCESSIBLE UNITS. ONE ADDITIONAL UNIT MUST BE CONVERTED IN ORDER TO MEET THE 5% REQUIREMENT.

MOSELEYARCHITECTS

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NORTHGATE MANOR

220 BIBLEBROOK DR.
GREER HOUSING AUTHORITY

PROJECT NO: 641968
DATE: OCTOBER 24, 2024
REVISIONS
DATE DESCRIPTION

ENLARGED
UNIT PLANS

A7.2.2

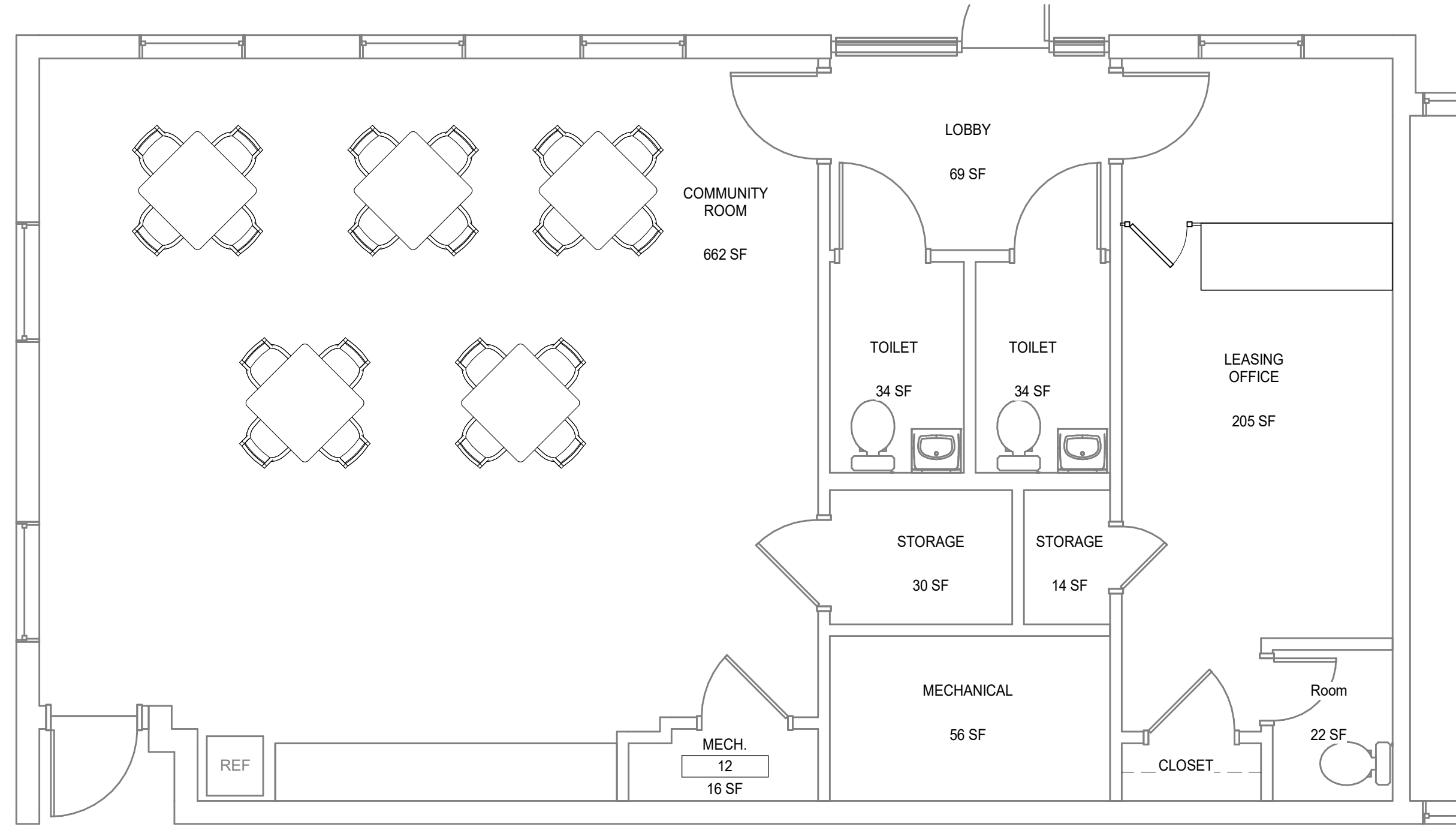
10/23/2024 4:52:16 PM

A
B
C
D
E
F
G
H

2
TYP A7.2.3

ENLARGED COMMUNITY SPACE - EXISTING

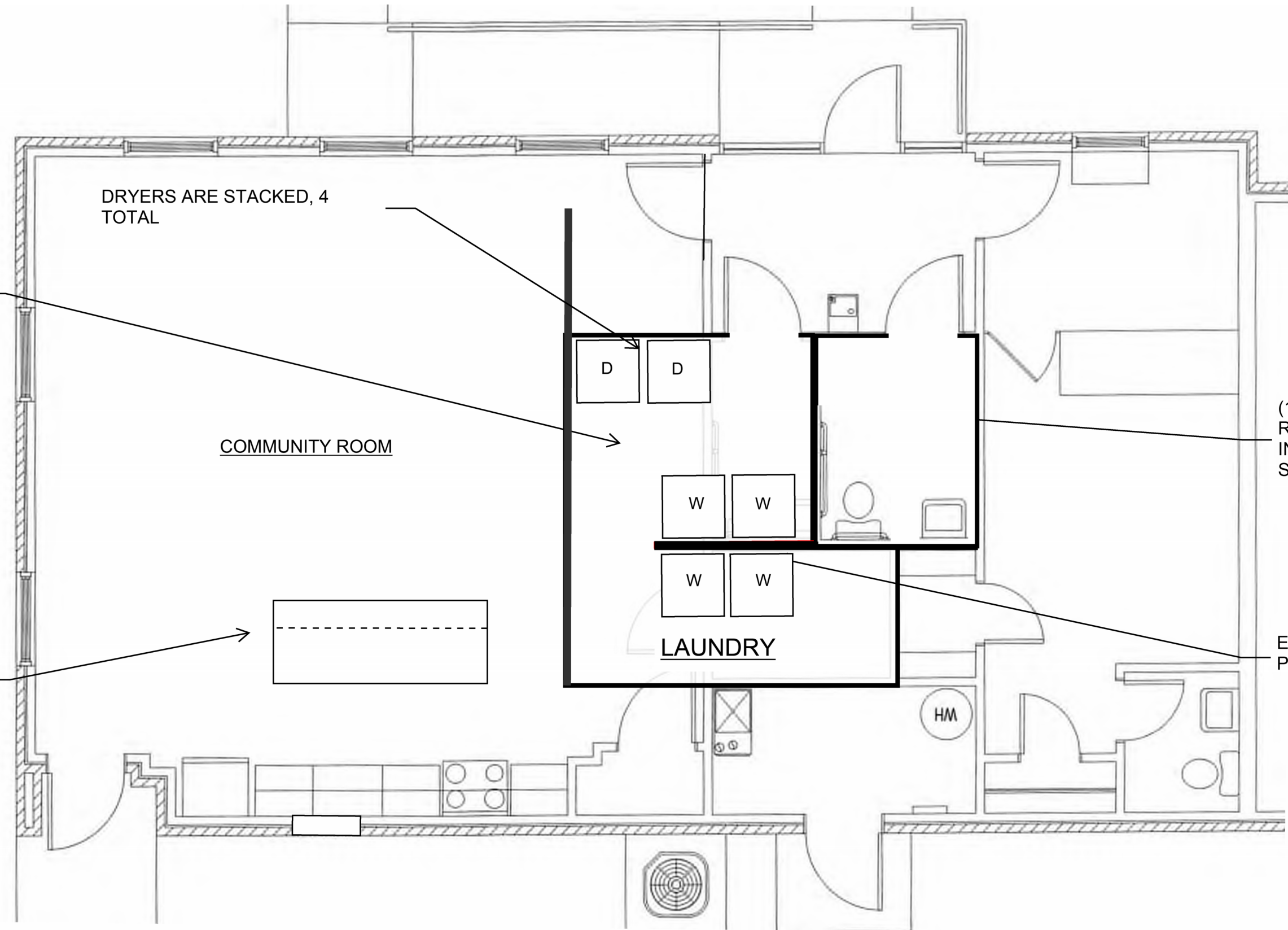
HEATED SF: 1200 SF



3
A7.2.3

ENLARGED COMMUNITY SPACE - PROPOSED

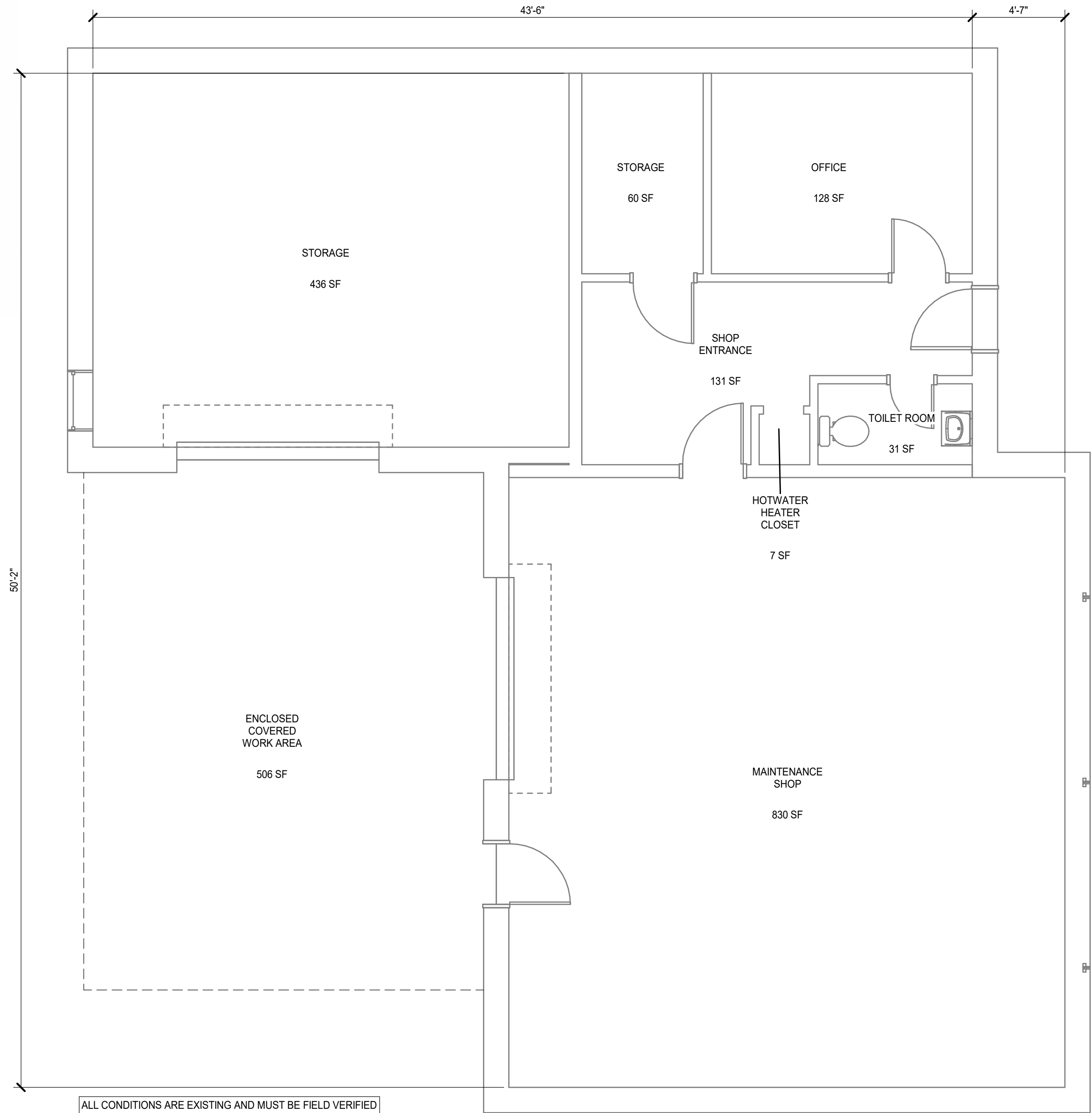
1/4" = 1'-0"



1
TYP A7.2.3

ENLARGED MAINTENANCE BUILDING

HEATED SF: 1756 SF
UNHEATED SF: 506 SF
TOTAL SF: 2262 SF



FLOOR PLAN GENERAL NOTES

A. DOCUMENTS ARE BASED ON A COMBINATION OF SCANNED AS-BUILT DRAWINGS AND A SITE VISIT. ALL CONDITIONS SHOULD BE FIELD VERIFIED.

FLOOR PLAN AMENITY SCOPE

- A. REPLACE ALL EXTERIOR DOORS AND WINDOWS INCLUDING GARAGE DOOR.
- B. ALL AMENITY AND MAINTENANCE AREAS ARE TO BE PAINTED (WALLS AND CEILING)
- C. REPLACE ALL FLOORING.
- D. RECONFIGURE SPACES AS REQUIRED FOR ADA COMPLIANCE.
- E. REPLACE ALL INTERIOR DOORS AND HARDWARE AS REQUIRED FOR ADA COMPLIANCE
- F. COMMON AREA RESTROOMS
 - a. RECONFIGURE AS REQUIRED FOR ADA COMPLIANCE INCLUDING COMBINING 2 SINGLE-USER TOILET ROOMS INTO ONE LARGER.
 - b. REPLACE COUNTERTOPS AND CABINETRY.
 - c. REPLACE PLUMBING FIXTURES
- G. COMMUNITY ROOM AND KITCHENETTE REPLACE ALL CABINETS AND SHELVING.
 - INSTALL AT ADA COMPLIANT HEIGHTS AND WITH ADA COMPLIANT CLEARANCES.
 - PROVIDE NEW SEATING ISLAND WITH CABINETRY BELOW.
- H. LAUNDRY ROOM
 - 1. INTEGRATE NEW COMMON LAUNDRY WITH 4 WASHERS AND 4 DRYERS.
 - 2. INCLUDE COUNTER / CABINETS FOR FOLDING, 2' DEEP X 5' LONG
 - 3. INCLUDE SEATING

NORTHGATE MANOR

220 BIBLEBROOK DR.
GREER HOUSING AUTHORITY

MOSELEYARCHITECTS

1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230

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PROJECT NO: 641968
DATE: OCTOBER 24, 2024

REVISIONS

DATE DESCRIPTION

ENLARGED
AMENITY AND
MAINTENANCE
SPACE

A7.2.3

PLUMBING & MECHANICAL SCOPE NOTES

- A. APARTMENT MECHANICAL AND PLUMBING
- a. THE MAINTENANCE TEAM ADVISED THAT EXISTING PIPING IS CAST IRON. HOWEVER IF ANY POLYBUTYLENE ("QUEST") PIPING IS PRESENT IT WILL BE REPLACED
- b. REPLACE APARTMENT PTAC UNITS WITH ENERGY EFFICIENT MODELS
- c. ALL UNITS WILL BE PROVIDED WITH INDIVIDUAL WATER SHUT OFF VALVES IN THE UNIT
- d. ALL ORIGINAL CAST IRON P-TRAPS ARE TO BE REPLACED.
- e. UNIT KITCHENS:
- KITCHEN RANGEHOODS
 - IN STANDARD UNITS RANGEHOODS ARE TO BE REPLACED WITH NEW MICROWAVE-RANGE HOODS TIED TO THE EXISTING CENTRAL EXHAUST SYSTEM.
 - IN ACCESSIBLE UNITS RANGEHOODS ARE TO BE REPLACED WITH ENERGY STAR EXHAUST HOODS TIED TO THE EXISTING CENTRAL EXHAUST SYSTEM AND COUNTERTOP MICROWAVE
 - PROVIDE NEW STAINLESS-STEEL KITCHEN SINKS WITH LOW FLOW FAUCET INCLUDING NEW P-TRAP, PIPING CONNECTIONS AND VALVE STOPS.
- f. UNIT BATHS:
- BATHROOM TOILET EXHAUST FANS ARE VENTED TO THE EXTERIOR. THEY ARE TO BE REPLACED WITH NEW ENERGY STAR FAN/LIGHT COMBOS AND EXHAUST DUCT SHALL BE CLEANED.
 - PROVIDE NEW VANITY SINK (CULTURED MARBLE WITH INTEGRAL BOWL) AND FAUCET.
 - REPLACE TOILETS. IN ACCESSIBLE UNITS PROVIDE NEW COMFORT HEIGHT ADA COMPLIANT TOILET
 - REPLACE BATHTUBS
 - PROVIDE NEW SHOWER DIVERter AND ADJUSTABLE HAND SHOWER HEAD ON SLIDE BAR WITH HOSE
 - ALL FIXTURES SHALL REMAIN IN EXISTING LOCATIONS AND CONNECT TO EXISTING PIPING (EXCEPT UFAS UNITS) AND PROVIDE WITH NEW FLEX HOSES AND VALVE STOPS.
 - ALL NEW PLUMBING FIXTURES TO BE LOW FLOW WATER SENSE LABELED FIXTURES.
- B. COMMON AREAS HVAC AND PLUMBING
- a. REPLACE PTAC UNITS THROUGHOUT
- b. COMMON AREA RESTROOMS
- REPLACE PLUMBING FIXTURES (TOILETS AND SINKS) WITH ADA COMPLIANT FIXTURES. PROVIDE ADA INSULATION ON BELOW COUNTER SINK PIPING.
- c. COMMON AREA KITCHEN
- REPLACE PLUMBING FIXTURES WITH ADA COMPLIANT FIXTURES INCLUDING SINK AND FAUCET. PROVIDE ADA INSULATION ON BELOW COUNTER SINK PIPING.
- d. COMMON AREA LAUNDRY
- ROUGH-IN FOR ADDITIONAL WASHER AND DRYER

ELECTRICAL SCOPE NOTES

- A. APARTMENT ELECTRIC
- a. ALL RECEPTACLES, SWITCHES AND COVER PLATES ARE TO BE REPLACED.
- b. PROVIDE GFCI RECEPTABLES IN UNIT KITCHENS. REPLACE EXISTING GFCI RECEPTABLES IN UNIT BATHS.
- c. ALL UNITS MUST HAVE LOOPED SMOKE ALARMS IN CODE COMPLIANT LOCATIONS INCLUDING ALL BEDROOMS AND ONE IN THE COMMON AREA. EXISTING LOCATIONS ARE COMPLIANT PER PCNA, BUT UNCLEAR IF THEY ARE LOOPED.
- d. IN BATHROOMS, OVERHEAD CEILING LIGHT MUST BE SWITCHED WITH THE EXHAUST FAN (FAN/LIGHT COMBO) AND THE VANITY LIGHT WIRED TO A SEPARATE SWITCH.
- e. PROVIDE CEILING FANS WITH LIGHTS IN ALL LIVING ROOMS AND BEDROOMS. FAN AND LIGHT MUST BE WIRED TO A SEPARATE SWITCH.
- f. REPLACE ALL EXISTING LIGHTING WITH ENERGY STAR LED LIGHTS.
- g. INSTALL A TELEPHONE JACK IN THE PRIMARY BEDROOM NEXT TO A RECEPTACLE FOR FUTURE TTY USE (UNLESS ONE IS ALREADY PRESENT)
- h. INSTALL A CENTRALLY LOCATED PORT SUPPORTING TENANTS PERSONAL (PRIVATE) WIRELESS HIGH SPEED INTERNET EQUIPMENT, PER UNIT.
- i. WIRE ALL REPLACED MECHANICAL AND PLUMBING EQUIPMENT.
- j. IN ACCESSIBLE UNITS, DEVICES ARE TO BE LOCATED AT ACCESSIBLE HEIGHTS AND WITHIN ACCESSIBLE REACH RANGES. LOWER THERMOSTAT, PROVIDE WIRE-MOLD BOXES IN KITCHENS, ETC.
- k. THERE ARE NO UNITS DESIGNATED FOR THOSE WITH HEARING/VISUAL IMPAIRMENTS. (2) UNITS ARE TO BE EQUIPPED WITH AUDIO/VISUAL ALARM NOTIFICATION INCLUDING A DOORBELL (WITH BELL AND TIED TO STROBES) AND FIRE ALARM HORN AND STROBES AND SMOKE ALARMS WITH VISUAL AND AUDIO NOTIFICATION.
- B. COMMON SPACE ELECTRIC
- a. ALL RECEPTACLES, SWITCHES AND COVER PLATES ARE TO BE REPLACED.
- b. DEVICES ARE TO BE LOCATED AT ACCESSIBLE HEIGHTS AND WITHIN ACCESSIBLE REACH RANGES. LOWER THERMOSTAT, PROVIDE WIRE-MOLD BOXES IN COMMUNITY KITCHEN, ETC.
- c. REPLACE ALL LIGHTING WITH ENERGY STAR COMPLIANT LIGHTING.